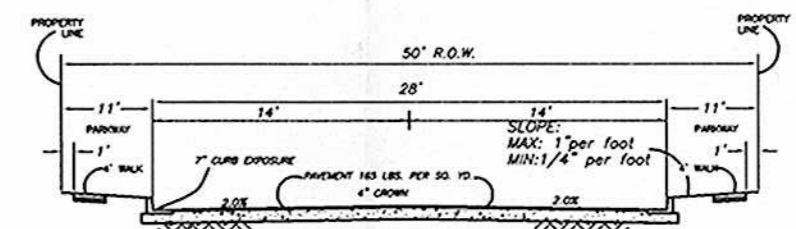


TYPICAL 70' R.O.W.
44' PAVEMENT



TYPICAL 50' R.O.W.
28' PAVEMENT



PLAN HAS BEEN ACCEPTED BY Scale: N.T.S.

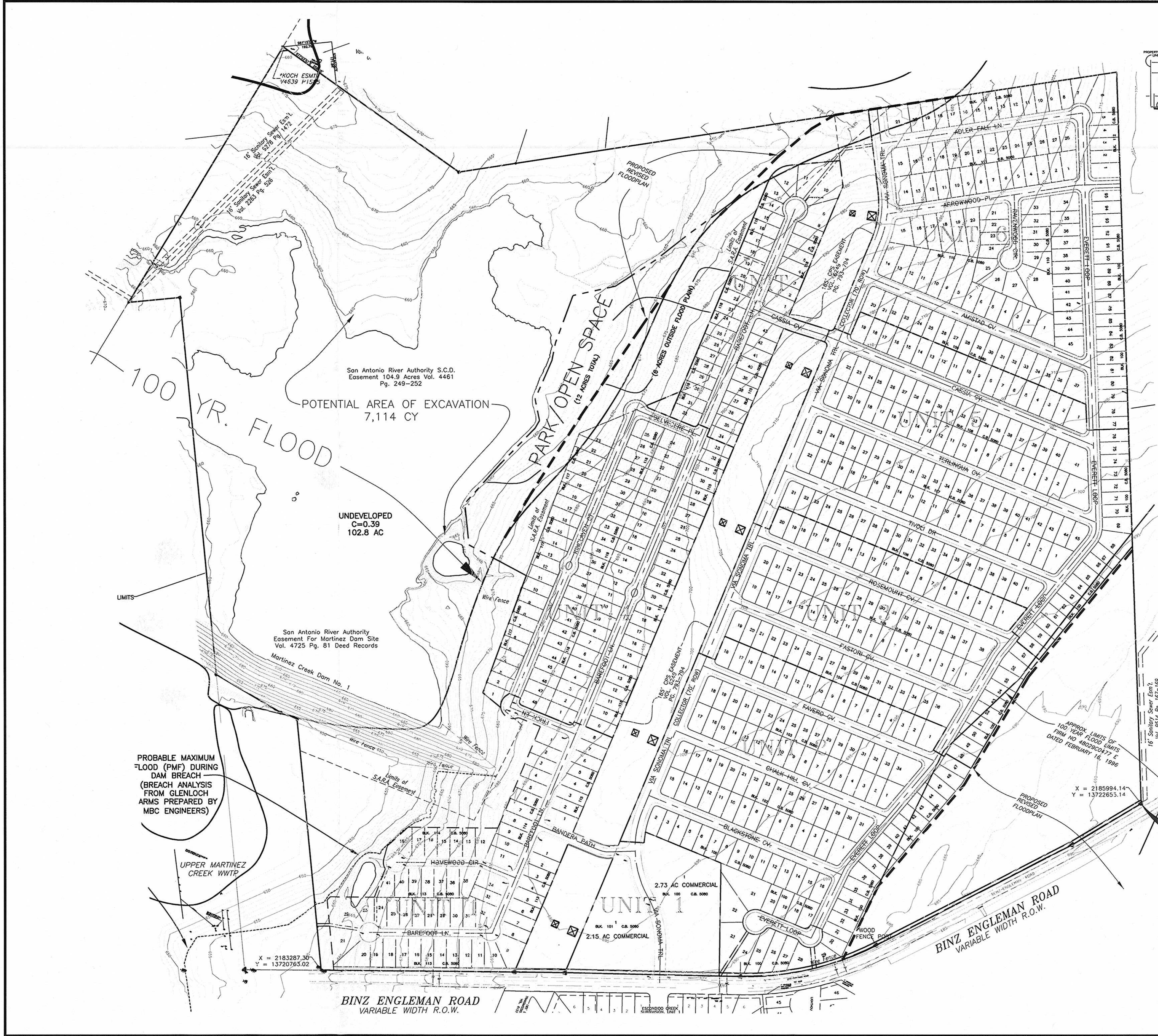
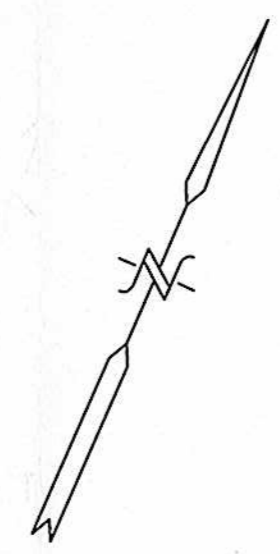
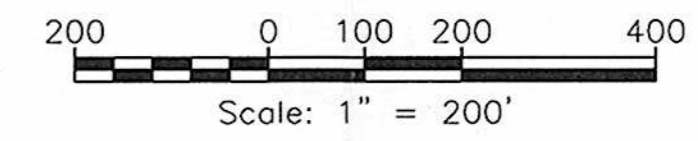
205A *Robert A. Bain*
12/13/05 868
(date) (number)

If no plans are filed, plan will expire
On 6/14/07 12-12-05P04:06 RCVD

1st filed on

TOTAL MDP AREA = 268.30 AC.
LOT SIZE = 50' X 115' TYPICAL

PHASING SCHEDULE			
UNIT	ACRES	S.F. LOTS	COMM. LOTS
1	19.082	87	2
2	40.262	129	
3	15.678	86	
4	28.463	96	1 PARK/OPEN SPACE
5	26.095	145	
6	25.736	131	
7	7.553	42	
TOTAL	162.869	696	2



- NOTES:
- SIDEWALK WILL BE INSTALLED IN THE PUBLIC RIGHT-OF-WAY PER U.D.C. ARTICLE 5, DIVISION 2, SECTION 35-506 (q).
 - HANDICAPPED RAMPS WILL BE PROVIDED AT STREET INTERSECTIONS AND ANY OTHER REQUIRED LOCATIONS AS PER U.D.C. ARTICLE 5, DIVISION 2, SECTION 35-506(o).
 - BICYCLE FACILITIES FOR THE COLLECTOR ROADWAYS SHALL BE INSTALLED PER U.D.C. ARTICLE 5, DIVISION 2, SECTION 35-506(d)(4) AND IN COMPLIANCE WITH AASHTO GUIDELINES FOR BICYCLE FACILITIES.
 - ALL INTERSECTIONS SHALL BE PROVIDED WITH CLEAR VISION EASEMENT, IF REQUIRED, IN ACCORDANCE WITH U.D.C. ARTICLE 5, DIVISION 2, SECTION 35-506 (d)(5).

MASTER DEVELOPMENT PLAN (MDP) NO: 868

THIS MASTER DEVELOPMENT PLAN OF SONOMA SUBDIVISION HAS BEEN SUBMITTED TO THE CITY OF SAN ANTONIO, TEXAS, AND HAVING BEEN REVIEWED BY THE DIRECTOR OF DEVELOPMENT SERVICES, IS HEREBY APPROVED IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS AS INDICATED BELOW.

DATED THIS _____ DAY OF _____, A.D., 20____
BY: _____ DIRECTOR OF DEVELOPMENT SERVICES
BY: _____ SECRETARY

<p>SONOMA SUBDIVISION MASTER DEVELOPMENT PLAN MDP #868</p>	DESIGNED BY: HJ
	DRAWN BY: HJ
<p>PREPARED BY: BAIN MEDINA BAIN, INC. ENGINEERS & SURVEYORS 7073 San Pedro San Antonio, Texas 78216 210/494-7223</p>	APPROVED BY: CB
	DATE: 06-2005
JOB NO.: C-0967	
SHEET 1 OF 1	

LAST REVISION: 12-09-05

05 DEC 12 AM 10:43
RECEIVED



CITY OF SAN ANTONIO

December 13, 2005

Ruben Renteria, P.E.

Bain Medina Bain
7073 San Pedro
San Antonio, TX 78223

Re: Sonoma Subdivision

MDP # 868

Dear Mr. Renteria:

The City Staff Development Review Committee has reviewed **Sonoma Subdivision** Master Development Plan **M.D.P. # 868**. Please find enclosed a signed copy for your files. Your plan was accepted, however please note the following:

- In consideration of public safety and convenience, excessive grades by reason of topography should be avoided in street layouts and arrangements.
- Any access and R.O.W. issues along state facilities will need to be resolved with the **Texas Department of Transportation (TXDOT)**. For information about these requirements you can contact TXDOT at 615-5814.

The **DSD – Traffic Impact Analysis and Streets Division** has reviewed the Level-2 Traffic Impact Analysis (TIA) and the MDP plan for the submitted Sonoma Subdivision MDP (MDP time stamped October 17, 2005). The analysis indicates compliance with TIA Ordinance 91700 and the UDC.

This proposed development is located on the northwest side of Benz-Engleman, west of FM 1516. Proposed to consist of 53K sq ft gross area of shopping center and 662 single-family residential, this development is estimated to generate 8,621 average daily trips, and 874 weekday PM peak-hour trips.

The following requirements and on-site improvements are necessary and shall be provided by the developer, on and before the completion of the Pioneer Meadows, at no cost to the City of San Antonio:

- The developer shall be responsible for providing a right-turn deceleration lane (295' with taper) as well as left turn lanes (200' storage and 100' taper) for Binz-Engleman at Via Sonoma Trail (entrance), as it relates to the submitted TIA traffic counts (Uniform Development Code(UDC) - 35-502 (a)(7), subsection C.
- The construction of Unit-4 prior to construction of Unit-7 and the secondary entrance across the CPS easement will overburden Barefoot Lane with over 1,000 vpd. Unit-7 shall be submitted prior to, or in conjunction with Unit-4.

It should be understood that this is a general review of a conceptual plan not an in-depth review of internal and external traffic flow, or streets and drainage plans. The internal street network shall be planned in order to provide safe and efficient movement of traffic to and from, within and past, the proposed development, while minimizing the impact to non-site trips. All technical requirements of the Unified Development Code will be complied with at the time of platting.

The **Bexar County Infrastructure Services Department** has reviewed Sonoma Master Development Plan located north of Binz Engleman Road across from Texas Palm Drive.

The 268 acres is proposed to consist of 662 single family residential lots and 4.89 acres of retail use. This mixed use development is estimated to generate 8,621 average daily trips. These trips will be distributed through a collector roadway, aligned with Texas Palm Drive at Binz Engleman Road, which will extend to the north most part of the subdivision.

The following improvements will be provided by the developer prior to completion of the Weston Oaks Subdivision:

- Access onto Binz Engleman requires an eastbound left turn and a westbound right turn deceleration lane.
- Secondary access to the proposed collector roadway will be required prior to approval of any phase exceeding 125 lots.

It is understood that this MDP is a conceptual plan and controlled access should be maintained in order to uphold safe and efficient traffic flow. Therefore, the developer of this property is encouraged to design common access and shared driveways between all proposed commercial lots. Bexar County reserves the right to address driveways, street design, sight distance, ADA requirements, drainage and floodplain issues at time of platting.


Mr. Renteria
December 13, 2005
Page 3

- This project will be subject to the Streetscape standards and 2003 Tree Preservation ordinance. For information about these requirements you can contact **Tree Preservation** at 207-0278.
- I would encourage you to work closely with the school district, so that they can plan accordingly.
- It will be expected that you will plat all of the property depicted in your Master Development Plan (M.D.P.), to include floodplains, drainage areas and open space.

Please note that this action by the committee does not establish any commitment for the provision of utilities, services or zoning of any type now or in the future by the City of San Antonio. If the proposed development is not platted in phases this Master Development Plan M.D.P. will be invalid.

ALL Platting shall comply with the Unified Development Code, Master Plan and Major Thoroughfare Plan for the city of San Antonio.

Sincerely,


Roderick J. Sanchez, AICP
Assistant Development Services Director

Cc: Sam Dent, P.E. Chief Engineer, DSD
Richard Chamberlin, P.E. Senior Engineer Development Services
Arturo Villarreal Jr., P.E. Storm Water Engineering
Todd Sang Civil Engineer Assistant Bexar County, Infrastructure Services Dept.