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# JEFFERSON

## Neighborhood Conservation District

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## TABLE OF CONTENTS

Executive Summary .....	2
NCD Boundary Area .....	3
Acknowledgements .....	4
Residential Design Matrix.....	7
Residential Design Standards.....	15
Non-Residential Design Matrix.....	35
Non-Residential Design Standards.....	39

## APPENDIX

Appendix A – NCD Enabling Ordinance.....	51
Appendix B – Glossary.....	57
Appendix C – Neighborhood Maps.....	71
Appendix D – Property Owners Listing.....	83
Appendix E – NCD Meeting Schedule.....	113
Attachment 1 – Zoning Commission Documentation.....	117
Attachment 2 – City Council Approved Ordinance.....	124

## EXECUTIVE SUMMARY

In response to the City's 1997 Master Plan and the 1998 Community Revitalization Action Group Report, the concept of the Neighborhood Conservation District (NCD) was determined to be a proactive tool to use to address neighborhood sustainability through compatible infill construction and rehabilitation in unique areas of the city. Since the adoption of the NCD enabling ordinance and development of the NCD Program, six (6) NCD Ordinances have been approved by City Council: South Presa Street/ South St. Mary's Street (NCD-1), Alta Vista (NCD-2), Ingram Hills (NCD-3), Whispering Oaks (NCD-4), Beacon Hill (NCD-5), and Mahncke Park (NCD-6).

The Jefferson area neighborhood was selected for designation based on goals identified in the Near Northwest Community Plan, adopted in February, 2004. Section 2.1.5 of the Plan states, "Investigate a Neighborhood Conservation District for the Deco District area", and Section 3.3.3 states, "Investigate Neighborhood Conservation Districts as a way to protect the architectural character of the neighborhood."

There are approximately 475 acres of land and 1,451 parcels within the district. Neighborhood Conservation Districts can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district contains structures that are at least 25 years old and at least 75% of the land area within the district is improved or developed. The proposed Jefferson Area NCD meets the ordinance requirements with 97.95% of the land area containing structures that are 25 years or older and 100% of the land area presently improved.

The residential architecture is dominated by one-story suburban houses built prior and after World War II. While some of the houses include design features reminiscent of Tudor, Mediterranean, and other eclectic styles, most of the area's houses are considered production tract houses. These homes were designed and built by housing developers who dominated the development of residential subdivisions in San Antonio during this time. The neighborhood commercial node located at the intersection of Donaldson and Manor provides a scaled building configuration with unique architectural features.

While the architecture of the area is an important feature, the design standards found in this plan are not intended to enforce architectural style, but rather to perpetuate historical arrangements of buildings, celebrate and prevent concealment of the original character of buildings, de-emphasize and conceal spaces designed for the automobile, increase the number and quality of spaces designed for interaction between neighbors and improve the visual appeal of the entire area. The design standards expressed in this document are not intended to make building improvements or development financially burdensome.

The completion of the designation process brings to fruition the neighborhood's idea of protecting and preserving the unique character of the Jefferson

Neighborhood Area; an idea and process which was carefully nurtured over a period of several years. In addition, this designation meets the intent and upholds the spirit of the Neighborhood Conservation District Program.

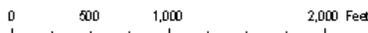


Neighborhood Conservation Districts are established by ordinance of the City of San Antonio. The City of San Antonio is authorized to create and maintain Neighborhood Conservation Districts. The City of San Antonio is authorized to create and maintain Neighborhood Conservation Districts. The City of San Antonio is authorized to create and maintain Neighborhood Conservation Districts.

# Jefferson

## Neighborhood Conservation District

### City of San Antonio



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## HOW TO USE THIS DOCUMENT

The Jefferson Neighborhood Conservation District Document is divided into five major sections: Residential Design Standards, Residential Design Matrix, Non-Residential Design Standards, Non-Residential Matrix, and Appendices.

The Residential Design Standards specifically address design related requirements for properties that contain residential uses ranging from single-family residential uses up to high density residential uses. In many areas within the Design Standards section, the intent of specific standards is discussed. This helps represent and explain the community's values of appropriate design solutions which is intended to further the cause of preserving the neighborhood character.

The Residential Design Matrix provides a concise reference summary for each of the design standards.

Non-Residential Standards apply primarily to the commercial areas such as the Jefferson Village Shopping Center, and any other non-residentially zoned properties. This commercial node is located in the heart of the district and has a rich history of retail uses catering to the neighborhood. These standards provide enforceable criteria for new and rehabilitative development for non residential structures and/or parcels. The Design Standards for Non-Residential uses also include intent references which help explain the community's values for appropriate non-residential design and development. This serves to represent the community's goals for achieving appropriate infill and rehabilitation of existing non-residential structures. The community expresses a strong desire to preserve and promote commercial development that is appropriate and complimentary to the neighborhood.

The Non-Residential Matrix provides a concise reference to each of the design standards.

Each section attempts to explain the intent behind the design standard. The intent has been gathered from public meetings, planning team discussions, and survey findings. In some cases, illustrations and pictures are used to clarify concepts and ideas. The glossary also provides specific definitions intended to clarify potentially ambiguous terminology and concepts.

The final sections of this document include the map appendix (Appendix B) which helps to graphically identify the character defining features found in the neighborhood; the Property Owners Listing (Appendix C), which is a required component of the NCD plan as set forth by UDC Section 35-335, Neighborhood Conservation Districts.



Thomas Jefferson High School

# LAST 52 UNSOLD HOMESITES

*in first unit of*

## Jefferson Manor

ADJACENT TO THOMAS JEFFERSON HIGH SCHOOL  
TODAY and SUNDAY

# Two Days--Only Two

*on the Astonishing Terms of*

**\$3** Down and **NO** Interest  
Per Week **TAXES**

For 1 Year

To Close Out the Remaining Unsold 50-Foot Homesites In First Unit and Clear The Way For Immediate Development of the Second Unit of Jefferson Manor

*Two Days—Only Two Days! Two Days—Only Two Days!*

**OPEN TODAY!**

*Completely Furnished*



By Jack Bon Furniture Department, Co-operating With the San Antonio Federation of Women's Clubs, Who Will Have Business a This Splendid New Home in Observance of National Better Homes Week.

**Nothing Succeeds Like Success!**

Jefferson Manor opened Oct. 8, 1931. Adjacent to Thomas Jefferson "High."

\$125,000 sales—\$25,000 cash first 6 months.

City water, gas, electricity, telephones. Wide contour boulevards, macadamized. Sensible restrictions, full view of city. No thinking person doubts the future of Jefferson Manor, adjacent to new Thomas Jefferson High School. Values bound to increase.

**FREE!**  
**ICE CREAM**  
*for Everybody!*  
**SATURDAY & SUNDAY**

Large 50-Foot  
**HOMESITES**

**\$675<sup>00</sup>**

to

**\$975<sup>00</sup>**

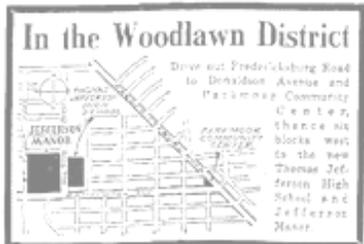
Some More -- A Few Less

**Drive Out Today!**

**JEFFERSON MANOR CO.**

N. S. DICKINSON AND L. E. FITE, DEVELOPERS

317 W. Travis St. FRANK E. PIERCE, Director of Sales Cr. 2722



# **RESIDENTIAL DESIGN MATRIX**

CATEGORY	ISSUE	DESIGN STANDARD
<p><b>BUILDING HEIGHT / NUMBER OF STORIES</b></p>	<p><b>Height of Primary Dwelling</b></p>	<p>Not to exceed 2 ½ stories or 35' (height is measured from grade to the highest point or pitch of the roof). page 15</p>
	<p><b>Height of Accessory Structures</b></p>	<p>Not exceed 12 feet or 80% of the height of the primary dwelling, whichever is greater. No accessory structure may be taller than the primary dwelling. page 15</p>
<p><b>BUILDING SIZE / MASSING</b></p>	<p><b>Floor to Area Ratio (FAR)</b></p>	<p>The Floor Area Ratio (FAR) uses a Floor Space Index (FSI) to determine the ratio of total living space allowed on a lot or parcel relative to the size of the lot or parcel.</p> <p>Square footage will be calculated by using the most current data provided by the Bexar County Appraisal District.</p> <p>Formula for calculating FAR: (total lot size) X (.25) = max floor area (sq. ft.). page 16</p>
	<p><b>Accessory Structures</b></p>	<p>Any accessory structure or detached building shall not exceed 40% of the existing square footage of the primary dwelling structure. page 17</p>
	<p><b>Lot Size and Coverage</b></p>	<p>The lot size shall not be increased or decreased by 20% or more of the total lot size. Minimum lot width standards apply. page 18</p>
	<p><b>Front and Sideyard Setbacks</b></p>	<p>Front yard setback can be between 20' and 35', or within 20% of the median structures within one block face. Side Yard: 5' from the property line and at least 10' from adjacent structures (eave to eave). page 19</p>

CATEGORY	ISSUE	DESIGN STANDARD
<b>SIDEWALKS AND FRONT WALKS</b>	There are sidewalk requirements governing: placement, width, material, connectivity, and separation. page 22	
<b>PRINCIPAL ELEVATION FEATURES</b>	<b>Wall Openings and Fenestrations</b>	The sum of the first floor glazing, doors, and other fenestrations shall be at least 20% and not more than 50% of the first floor front elevation's surface area. page 23
	<b>Front Entry</b>	Front entries shall be placed so that the dwelling is accessed from the primary street and is on the first floor. page 23
	<b>Windows</b>	<p>For additions or renovations to existing structures, windows shall match the height to width dimensional proportion configuration, and appearance of existing windows. Windows must have a 2:1 ration dimension. Shutters, blinds, screens, awnings, and wood framing material are permitted.</p> <p>Not permitted: Decorative windows (bay windows, stained glass, glass block, palladium, etc.), tint, aluminum foil, and similar coating materials. Glass sliding doors or similar entries are not permitted on the primary front facade. page 23</p>
	<b>Mailboxes</b>	Freestanding mailbox structures on or near the primary street are not permitted. page 24
	<b>Refuse Containers</b>	Free standing waste containers or recycle bins, should be stored 5 feet behind the front façade and screened from the public right-of-way. page 24

CATEGORY	ISSUE	DESIGN STANDARD
<p><b>PRINCIPAL ELEVATION FEATURES</b></p>	<p><b>Façade Materials</b></p>	<p>Non-permitted facade cladding: Aluminum, vinyl, EIFS, and faux siding materials. Permitted siding materials: Brick, stone, wood, hardi board, and stucco/ plaster page 24</p>
	<p><b>Front Porch</b></p>	<p>Porches may not be reduced in size. Porches may be enclosed with certain materials and certain materials are prohibited. There are new construction and rehabilitation requirements. No appliances or similar items may be used or stored on the front porch. page 25</p>
	<p><b>Fencing</b></p>	<p>New front yard fences and free standing wall materials shall not include chain link (metal or vinyl covered), deformed reinforcing (steel bar) mats, razor or barbed wire, pre-cast concrete systems (e.g. fence-crete), exposed CMU with visible joints, or unfinished concrete. New front yard fences and walls shall not be more than forty-two inches (42”) in height and separated from existing sidewalk by not less than two feet (2’-0”). There are additional fence/wall placement requirements. page 26</p>
<p><b>ROOF LINE AND PITCH</b></p>	<p>Pitch, material, and configuration apply for additions or renovations). configuration (e.g. gable, hip or flat) and style (e.g. open eaves) of the existing structure. V-crimp or similar roofing material is not permitted. page 27</p>	
<p><b>GARAGES AND CARPORTS</b></p>	<p><b>Garage Entrance Location</b></p>	<p>New construction, garage entrances must be located at least five feet (5’ – 0”) from front the front façade, or recessed five feet (5’ – 0”) within the front façade if attached. page 28</p>
	<p><b>Carports</b></p>	<p>Carport design standards for height, setbacks, materials, and profile apply. page 28</p>

CATEGORY	ISSUE	DESIGN STANDARD
<b>COVERING</b>	<b>Impervious Cover</b>	Impervious cover for all residential lots must not exceed 50% of the total lot area. Impervious cover includes non-permeable surfaces such as roads, parking areas, driveways, buildings, pools, patios, sheds, sidewalks, and other impermeable construction covering the natural land surface. page 30
	<b>Landscaping</b>	The provisions of the UDC §35-523 (version in use at the time of adoption of this zoning overlay district, included for reference) shall be upheld as minimum landscaping standards for all new projects. page 30
<b>WALLS</b>	Retaining walls must be 6" above highest grade. Railroad Ties are not permitted. page 31	
<b>UTILITIES</b>	All utility boxes, HVAC equipment, and other utility services must be screened from public right-of-way. page 31	
<b>SOLAR DEVICES</b>	Solar Panel Systems shall match and blend with the character and profile of the existing roof or structure. page 31	
<b>RECEPTION / ANTENNA DEVICES</b>	Reception, antenna devices satellite dishes, TV and radio antennas, and other devices shall be installed and placed to the rear of the structure. Other standards apply. page 31	

CATEGORY	ISSUE	DESIGN STANDARD
<p><b>Ramps and Other Similar Structures</b></p>	<p>Ramps and other similar structures shall be built parallel to the front wall of the structure, if feasible and must meet the most recent City of San Antonio building codes and engineered to meet American with Disabilities guidelines. page 32</p>	
	<p>Lighting for new area lighting fixtures mounted over-head or on poles apply. Other lighting requirements apply. page 32</p>	
<p><b>Lighting</b></p>	<p><b>Glare</b></p>	<p>New outdoor fixtures having a total output of more than 1800 lumens must be full-cut-off-fixtures. page 32</p>
	<p><b>Light Trespass</b></p>	<p>Light trespass is prohibited. Page32</p>

# **RESIDENTIAL DESIGN STANDARDS**

# Right in Front

Values Are Increasing in This New Community That is Springing Up Over Night.



1932 Will Be A Great Year For Jefferson Manor Adjacent To This New Senior High School

# Of Your Eyes!

Profits Like These Will Come as Quickly in Jefferson Manor

2,150 Per Cent

December 30th, 1922 lots 21424 to 21426 were purchased for \$200. The two 500 sq. ft. lots were sold for \$1,000. The 100 sq. ft. lot was sold for \$200. On December 18, 1924, three lots were sold for \$1,000, an advance of 100 per cent. They changed hands again on June 27, 1925. Over and over again years later at a price of \$1,000. This was a profit of 500 per cent in the last sales. Five months later the same two lots brought \$1,000. The gross profit in 7 years was 2,150 per cent.

### Homesites Double

Residential lots on West Magnolia and Fredericksburg Road in Jefferson Manor were first put on the market in 1921. As early as 1926 and 1927 they were readily from \$2,500 to \$2,500, an advance of 100 per cent.

At the corner of Magnolia and Fredericksburg Road the Builders Oil Company bought three years ago, one 60 foot lot for \$12,000. In 1922 this property was sold for \$25,000 with a 50 per cent profit. That lot sold for \$25,000.

### From \$350 to \$27,500

In 1922 the sum of \$350 was paid for two small lots at the corner of Fredericksburg and Fredericksburg Road. In 1928 the Oil Company paid \$10,000 for one-third of these properties. The remaining portion of 500 property was later sold for \$15,000. The price for the remainder is now set at \$27,500.

Do You Believe Your Own Eyes? Are you influenced by what you see? If you are governed by facts? If you drive to the corner of Fredericksburg Road and Woodlawn Avenue. North and west of that point every home, every business building, every foot of paving, every inch of gas and water pipe (a valuation in excess of \$20,000,000), has been built within the last ten years. Above are a few of hundreds of instances of profits that have been made. What has happened will happen again. Watch this space next Sunday for other profit facts.



to Thomas Jefferson third president of the United States, an ardent advocate of education and a firm believer in real estate, this property is dedicated.

**S**AN ANTONIO is growing. The march of development continues. New values are being created daily. Profits are being made—all right in front of your eyes. Ten years ago a mesquite pasture was converted into Woodlawn Place, Then came Woodlawn Terrace, North Woodlawn Terrace, Parkmoor Place, Woodlawn Park, Woodlawn Hills, etc. All in the space of 10 short years—or was it ten days—how fast time flies. Original values have doubled, tripled, multiplied many times.

Then came a marvelous new school. Thomas Jefferson High, built at a cost of a million dollars, is almost completed. Adjacent to it is Jefferson Manor subdivision, laid out with wide streets, gas, water and electricity. The first new home is nearing completion, others are starting and more than 100 families have purchased homesites—right in front of your eyes.

Fine restricted homesites are available at 1914 prices. Business sites are obtainable in a carefully planned and restricted community center. There is a place for apartments and two-family dwellings. Here, as ten years ago, is another ground-floor opportunity for a safe investment, for home building, for active savings accounts in this new property that is growing more valuable every day—right in front of your eyes.

To see ahead one, two or ten years, just go back five, ten or twenty years. The unbelievable has happened. The impossible has been done. History has repeated itself over and over. It will continue in the future as it has in the past. Nothing can stop it.

Here in Jefferson Manor where a new community is springing up overnight opportunity again knocks. Not once, twice or three times, but again and again it knocks "Now is the time to buy—where there is a profit to the purchaser left in every lot—where values adjacent to the new high school are bound to increase—where development continues—where families must live."

## It Is Folly to Wait

At present low prices it is folly to wait longer before buying in Jefferson Manor. Development, forced by demand, has come on wings of desire. It will continue unabated. There is nothing to wait for, but much to take advantage of NOW. Drive out to the property and see for yourself the changes that are occurring daily. You know what is happening. Your judgment says "BUY"—so ACT TODAY. It is folly to wait longer.

## Jefferson Manor Company

N. S. DICKINSON AND L. E. FITE, Developers  
Frank E. Pierce, Director of Sales

317 W. TRAVIS ST.

CR. 2722

Prices Will Soon Advance

Large 50-Foot Lots Now

\$675 to \$950

Some Higher — A Few Lower Reasonable Terms

### See It Right in Front of Your Eyes

Drive out Fredericksburg Road to Parkmoor Community Center and Donaldson Avenue; thence four blocks west on Donaldson to Thomas Jefferson High School and Jefferson Manor.



## RESIDENTIAL DESIGN STANDARDS

### General

The Jefferson Neighborhood Conservation District (NCD) design standards apply to new construction projects and to improvements or renovations to existing structures where the work may or may not require a building permit and is specifically governed by the NCD design standards. In the case of ordinary repair and maintenance, existing non-compliant structures or conditions shall not be required to conform to the design standards, although any modifications shall not increase the non-conforming condition.

### Building Height / Number of Stories

**Height of primary dwelling:** 2 ½ stories not to exceed 35 feet in height.\* Height is measured from grade to the highest point or pitch of the roof.

\*See page 11 for maximum allowable square footage which may influence size and number of stories.

### Accessory Structures

Height of accessory structures (garages, carports, sheds, and other structures) shall not exceed 12 feet or 80% of the height of the primary dwelling, whichever is greater. No accessory structure may be taller than the primary dwelling.

Formula for calculating maximum height of accessory structure:

**(0.80) X (primary structure height) = maximum height**

Primary Structure Height		80%	Maximum
35 feet	X	0.80	= 28 feet
30 feet	X	0.80	= 24 feet
25 feet	X	0.80	= 20 feet

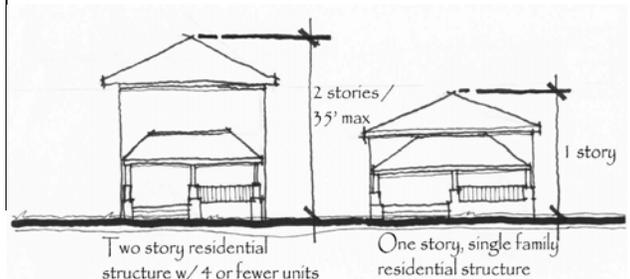
Sample calculations for three (3) different heights, yielding the maximum height allowed for accessory structure.

#### INTENT:

Infill structures should not be significantly shorter or taller than adjacent buildings. This ensures that the height of new buildings reinforces and enhances the existing character of the streetscape and neighborhood.

Accessory structures should be proportionate in height and scale to the main/ primary dwelling.

**Infill** development occurs on vacant or underused lots in otherwise built-up sites or areas. Infill projects can take several forms, such as a small addition in a residential backyard, or a single or multi-parcel development project.



## Building Size / Massing

### Floor to Area Ratio (FAR)

Floor Space Index (FSI) = .25

The Floor Area Ratio (FAR) uses a Floor Space Index (FSI) to determine the ratio of total living space allowed on a lot or parcel relative to the size of the lot or parcel. This ratio protects the character of the neighborhood by ensuring appropriately scaled structures. The Jefferson Neighborhood Conservation District has adopted a **0.25** FSI multiplier to be used to calculate the maximum living space (square footage) of the principal dwelling structure.

Square footage will be calculated by using the most current data provided by the Bexar County Appraisal District. Bexar County Appraisal data supersedes any and all other property and building information. It is the responsibility of the applicant to address any discrepancy with the County Appraisal office.

#### Formula for calculating FAR:

$$(\text{total lot size}) \times (.25) = \text{max floor area (sq. ft.)}$$

FLOOR AREA RATIO		
Sample Lots	lot size (sq. ft.)	Floor Space Index (FSI) <b>0.25</b>
Lot #1	12,000 sf	.....3,000 sf
Lot #2	11,000 sf	.....2,750 sf
Lot #3	9,000 sf	.....2,250 sf
Lot #4	7,500 sf	.....1,875 sf
Lot #5	6,500 sf	.....1,625 sf
Lot #6	6,000 sf	.....1,500 sf

Six (6) sample lot sizes illustrating maximum square footage based on the .25 FSI multiplier.

Maximum floor square footage based on **0.25** FSI index. Lot size multiplied by the FSI Index produces the maximum building square footage.

**(Lot Size) X (FSI) = maximum floor space permitted**

#### **INTENT:**

The Jefferson Area has a wide range of structure and lot sizes. To protect the character of the neighborhood, it is important to maintain the scale of the structures in it.

A Floor-Area ratio ensures appropriately scaled structures accommodate the size and type of a particular residential lot.

#### **Definition:**

**Living Space-** the total square footage of livable space. Living space excludes covered porches, patios, stoops, and other areas distinctly separate from the primary living area.

Total living space includes all levels and stories of the principal dwelling structure.

## Accessory Structures

The combined square footage for all detached accessory structures (garages, carports, detached dwelling) shall not exceed 40% of the square footage of the living space of the primary dwelling.

The living space square footage of the primary dwelling is determined by the most recent Bexar County tax records.

Primary Structure (actual sf)	Permitted Accessory Structures (sf of primary structure X .40)
1,000 sf	400 sf
1,100 sf	440 sf
2,100 sf	840 sf

The above table demonstrates the square footage allowed for accessory dwellings based on the existing square footage of the primary structure.

---

### Definitions

**Accessory Structure:** A subordinate building customarily incident to and located on the same lot with the main building.

**Accessory Detached Dwelling Unit:** A dwelling unit that is accessory, supplementary, and secondary to the principal dwelling that may be constructed as an addition to the principal structure or as an accessory to the principal structure. An accessory dwelling unit is detached from the principal dwelling. *(see Section 35-371 of the UDC for additional dwelling unit criteria.)*

**Principal Building or Principal Structure:** A building or structure in which the principal use of a lot or parcel is conducted. This shall include any buildings which are attached to the principal structure by a commonly shared roof or covered structure.

**Principal Dwelling:** A dwelling unit which constitutes the principal structure on a lot or parcel.

### INTENT:

Accessory Structures are prominent throughout the Jefferson Neighborhood. However, accessory structures should not dominate the principal/primary dwelling structure.

The purpose of managing square footage of accessory structures is to ensure that new and modified accessory structures are built to scale and proportion of the primary dwelling structure.

These standards are determined by the existing square footage of the primary dwelling structure.

## Lot Size and Coverage

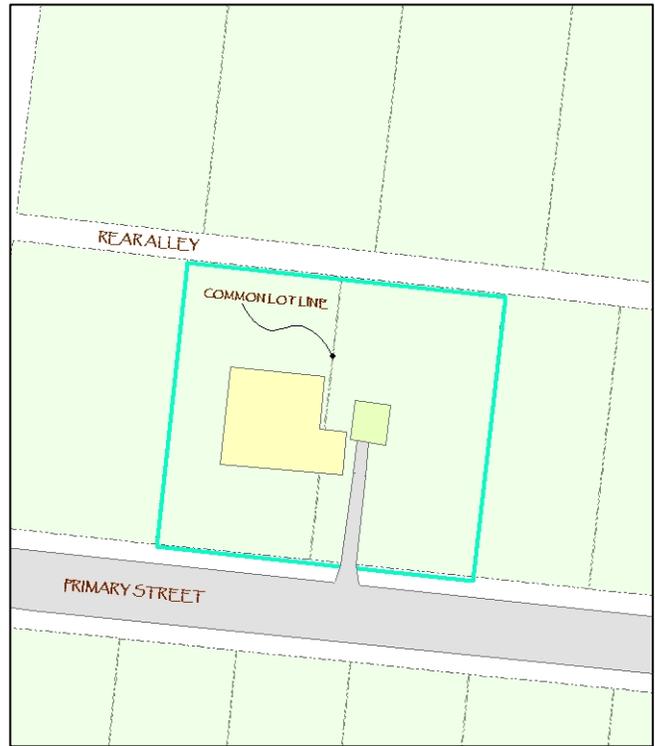
The lot size of any re-platted residential parcel shall not be increased or decreased by 20% or more of the total lot size.

Minimum lot width for any single-family residential use shall be twenty-five (25) feet. All replatted lots must have a minimum of twenty-five feet (25') of right-of-way (ROW) primary street frontage.

Structures built over a common lot line are not permitted.

### INTENT:

The FAR calculation is intended to manage the massing and lot coverage of a particular parcel. When parcels are assembled and/ or subdivided, this allows an opportunity to influence the FAR calculation. To ensure an appropriately scaled neighborhood streetscape and building configuration, the process for replatting, subdividing, and assembling parcels must be reasonably maintained.



Example of structure built on common lot line.

### NOTE:

**A common lot line is the boundary of two adjacent parcels owned by the same person(s) or entity.**

*See glossary of terms for other definitions and terms.*

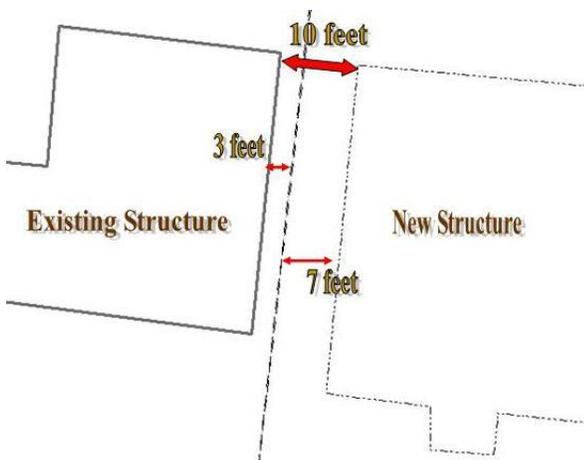
## Front and Side Yard Building Setbacks

### Front Yard Setback

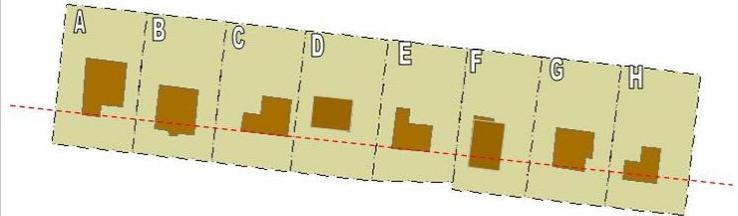
Front yard setback shall be between 20 feet and 35 feet, and/ or within 20% of the mean of the structures within one block face.

### Side Yard Setback

5 feet from the property line and at least 10 feet, eave to eave, from adjacent structures.



The sample illustration above shows the setback for a new structure (7 feet). Although 5 feet is the standard side setback, for cases in which an existing legally non-conforming structure is closer than 5', new adjacent structures must maintain a distance of at least 10 feet from the existing structure.



The above blockface illustration shows a mean setback line of 31 feet. To calculate the mean (average) blockface setback, add all setback distances of the blockface and divide by the total number of lots.

In the blockface sample above:

Lot A = 31 feet	Lot E = 32 feet
Lot B = 18 feet	Lot F = 20 feet
Lot C = 32 feet	Lot G = 30 feet
Lot D = 38 feet	Lot H = 23 feet

224 divided by 8 = 28 ft mean blockface setback

The setback for new construction on this sample blockface may be within 20% of 28 feet. This equates to +/- 5.6 from 28 feet.

Maximum setback: 33.6 feet  
Minimum setback: 22.4 feet

*Front setbacks shall not exceed 35', and must be a minimum of at least 20'*

**NOTE:** The residential structures in the neighborhood generally maintain a similar setback along individual block faces creating a rhythm and continuity along the streetscape.

**Front Yard:** The area from the front façade of the principal structure to the street or public right-of-way.

**Side Yard:** The area extending the depth of a lot from the front yard to the rear yard between the side lot line and the nearest principal structure.  
(see illustration, pg. 16)

**Back Yard:** The area from the rear façade of the principal structure to the back (away from primary public right-of-way) property line.

**See glossary of terms for definition of block face, setback, mean, and property line.**

## Off – Street Parking and Loading Requirements

### Parking

UDC Division 6, 35-525-526 stipulates a minimum of 1 off-street parking space required for single-family or two-family dwellings, with no restrictions of the location on the parcel. For single and two-family dwellings, parking for a minimum of 2 vehicles per dwelling unit shall be accommodated or stored in a parking structure. The parking accommodation / structure shall be behind the vertical plane of the principal façade facing the adjacent primary street. This accommodation / parking structure may include a garage or a porte cochere. With the exception of permitted carports, as defined in this document, no parking structures shall be constructed within the front yard.

UDC Division 6, 35-525-526 stipulates a minimum of 1.5 off-street parking spaces required for three-family dwellings or dwellings with more units, with no restrictions of the location on the parcel. For dwellings with three or four units, parking for a minimum of 1 car per dwelling unit shall be required, in accordance with UDC Table 526-3a and accommodated behind the closest vertical plane of the principal structure's façade.

For dwellings with more than four units, parking for a minimum of 1.5 parking spaces per dwelling unit shall be provided and shall occur behind the vertical plane of the primary façade.

### **INTENT:**

The Jefferson Neighborhood Conservation District encourages off-street parking accommodations for all dwelling types.

Consistent with the rest of this document, the neighborhood expects conservation of the existing streetscape, including front-yard play areas and high visibility for backing cars and crossing pedestrian traffic.

### **DRIVEWAYS**

Single and double width driveways are common throughout the Jefferson Neighborhood area. The intent of the design standards for driveway widths and curb cuts is to maintain the streetscape and character of the existing lot configurations within the Jefferson Neighborhood.



Typical Jefferson neighborhood driveway configuration

### Driveways and Curb Cuts

Driveways shall be constructed of either impervious material (concrete, brick, or concrete, clay tile pavers, or asphalt), or pervious materials. Pervious materials shall be bordered by a durable curb-like material (brick, concrete, etc.) in order to prevent erosion.

Except at corner lots, driveway curb cuts shall not exceed fifteen feet (15' – 0") in width. There shall be no more than one curb cut in each lot for each seventy-five feet (75' – 0") of primary street frontage. Behind the curb cut, driveways shall not be less than eight feet (8' – 0") and not more than twelve feet (12' – 0") in width. Driveways shall extend on only one side of the principal dwelling.

**For corner lots:** If a curb cut is located on the primary street, corner lot driveways must also comply with the driveway requirements of this document. If the driveway curb cut is located solely on the secondary or side street, a standard UDC driveway and curb cut configuration is allowed.

For residential lots without a primary street curb cut or driveway: Prior to permitting additional curb cuts, all existing vehicle access ways (alleys, side access points, etc.) shall comply with the driveway standards of this document.

Circular drives and driveways with ingress/ egress onto one or more streets are prohibited.

Driveway materials may include concrete, and/or brick and similar pavers. Gravel or similar material is permitted, but must be contained by an impervious curb or border.

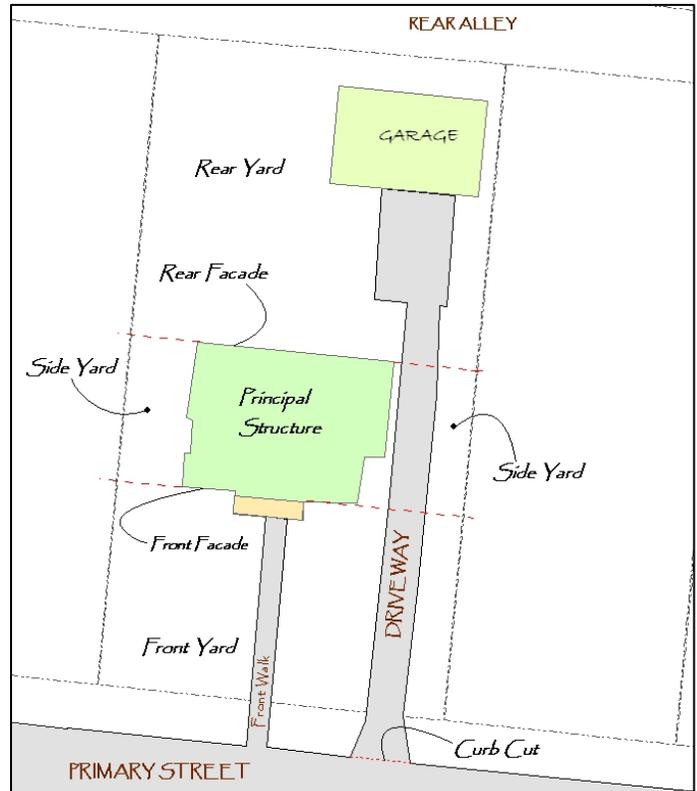


Illustration of a typical lot layout



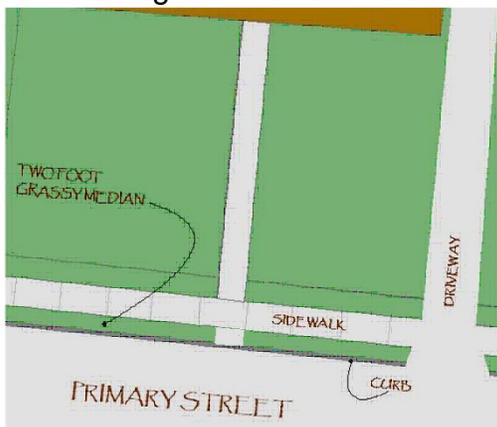
Common front walk and driveway configuration

## Sidewalks and Front Walks

Where an adjacent sidewalk is wider than required by the UDC, new sidewalks shall match adjacent sidewalks in width. Existing sidewalks may be repaired and/or replaced within the original footprint.

Sidewalks shall be located such that:

- New sidewalks shall match distance from curb and green strip configurations of adjacent sidewalks, where they exist, or;
- If no adjacent sidewalk exists, the edge of sidewalk closest to the structure shall be placed on the property line, and the paving for sidewalks shall be a maximum of three feet (3' – 0") wide.
- A mandatory front walk shall be separated from the driveway by at least four feet (4' – 0"). This walk shall connect the front entry(s) of the primary structure to the back of curb. A path may be made between the front walk and the driveway.
- For all new and replacement public sidewalks, there shall be a minimum grassy separation of at least three feet from the sidewalk to the curb or ROW.
- Asphalt and decorative materials are not permitted. Sidewalk material must match adjacent or connecting sidewalk connecting sidewalks.



Example of an appropriate neighborhood sidewalk configuration

### INTENT:

Public sidewalks are not currently prevalent in the Jefferson Neighborhood. However, as new sidewalks are constructed, the NCD sidewalk standards will be applied to protect the existing character and aesthetic of the neighborhood streetscape.



Example of appropriate replacement of front walk and installation of new sidewalk meeting sidewalk and front walk standards.

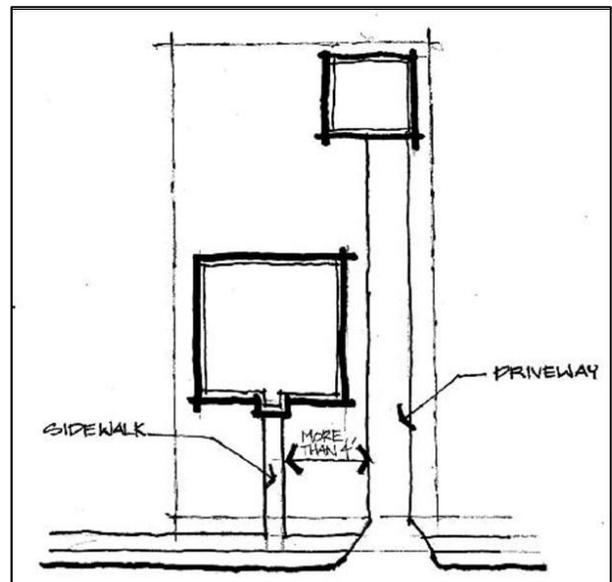


Diagram of separation distance of front walk and driveway.

### Principal Elevation Features

**Wall openings / fenestration:** the sum of the first floor glazing, doors, and other fenestrations shall be at least 20% and not more than 50% of the first floor front elevation's surface area.

**Front Entry:** For all new dwelling units, the front entry shall be on the first floor and shall be placed so that the dwelling is accessed from the primary street.

**Windows:** For additions or renovations to existing structures, windows on the façade(s) fronting a primary street (and secondary street in the case of corner lots) shall match the height to width dimensional proportions, configuration and appearance of existing windows. For new construction, front façade windows shall have a 2:1 ratio dimension. Decorative windows (bay windows, stained glass, glass block, palladium, etc.) are not permitted. Windows are to be free from film, tint, aluminum foil, and similar coating materials. Glass with embedded tinting is permitted. Shutters, blinds, screens, awnings, and wood framing material are permitted. Glass sliding doors or similar entries are not permitted on the primary front façade.

#### INTENT:

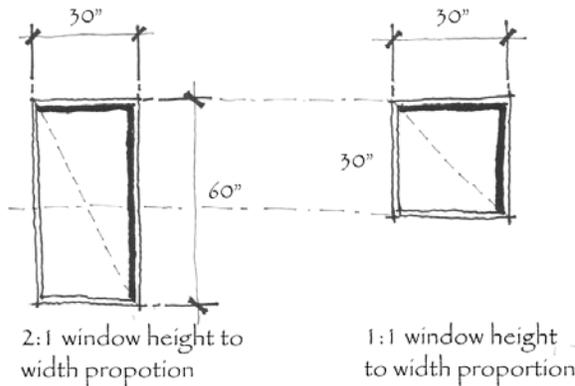
Windows, openings, and front entryways are significant architectural features. The Jefferson neighborhood has a variety of fenestration types, and it is the intent of this standard to preserve the existing fenestration styles currently found throughout the neighborhood.

#### Definition:

**Principal Elevation-** The primary front façade area of the main structure; usually fronting or facing the public right-of-way (ROW).

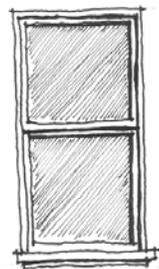


Illustration showing 30% of front elevation fenestration.



Examples of window proportions and light division

1 over 1 light division



no light division



## Principal Elevation Features

**Mailboxes** Subject to Federal regulations, freestanding mailbox structures on or near the primary street are not permitted. Mailboxes may be attached to the primary structure.

**Refuse Containers:** Free standing waste containers or recycle bins should be stored 5 feet behind the front façade and screened from the public right of way. Vegetation (shrubs, bushes, etc.) can be used as appropriate screening materials.

### Façade materials

Aluminum, vinyl, EIFS, and faux siding materials are not permitted for primary façade cladding.

Permitted siding materials include brick, stone, wood, hardi board, and stucco/ plaster. Replacement siding, including rehabilitations, remodels, and additions, must match the remaining siding, or a different (permitted) material must be selected.

No more than three (3) different façade materials, excluding windows, doors, shutters, and other fenestrations shall be permitted.

Building materials for additions and/or renovations shall match those of the existing structure in scale, proportion, placement and profile.



Freestanding front mailbox



Stored refuse containers visible from the public right-of-way.

**EIFS:** (Exterior Insulation and Finish Systems) provides exterior walls with an insulated finished surface, and waterproofing in an integrated composite material. EIFS is often referred to as “synthetic stucco”.

**Principal Elevation Features**

**Front Porch** Porches may not be reduced in size, but may be enclosed with woven/open wire mesh (no chicken wire or similar screen materials), and must maintain a transparency ratio of 80%.

Wrought iron, chicken wire, burglar bars, tarps, glass, or obstructions such as blinds, curtains, or coverings are not permitted.

For new construction and rehabilitation of existing structures, the front porch may not exceed 50% of the front façade plane of the structure. A porch or stoop is required for all new construction. A porch may extend up to 12 feet beyond the primary front façade, not to encroach the permitted front setback. A stoop may extend a maximum of six feet beyond the primary front façade, not to encroach the front permitted setback requirement.

An enclosed front porch may have a screen door. Metal or decorative doors are not appropriate for front porches and are not permitted.

No appliances or similar items may be used or stored on the front porch. Appliances (wash machines, refrigerators, etc.) shall not be visible from the primary street public right-of-way.

**INTENT:**

Across the various styles and variations of residential architecture, the front porch remains a common architectural element that defines the entry to residential structures and promotes social interaction of people along the street.

There are a number of porch styles in the Jefferson area. The porch design standards are intended to preserve the architectural character of the existing front façade while allowing reasonable and appropriate methods for enclosures.

**DEFINITIONS**

**Porch:** A roofed area, which may be screened, attached to or part of and with direct access to or from a structure and usually located on the front or side of the structure, not to extend 50% of front façade.

**Stoop:** A small open porch or platform with steps leading up to the entrance of a building and may extend up to 6 feet from the front façade.

**Transparency percentage** refers to the amount of surface area of a porch enclosure (walls or vertical surfaces) that must be constructed of transparent materials compared to the total surface area of the enclosure.



Residential structure with a non-conforming enclosure and transparency ratio of an existing porch



An appropriate residential porch enclosure

**Principal Elevation Features**

**Fencing** New front yard fences and free standing wall materials shall not include chain link (metal or vinyl covered), deformed reinforcing (steel bar) mats, razor or barbed wire, pre-cast concrete systems (e.g. fence-crete), exposed CMU with visible joints, or unfinished concrete. Paint shall not be considered a finished surface.

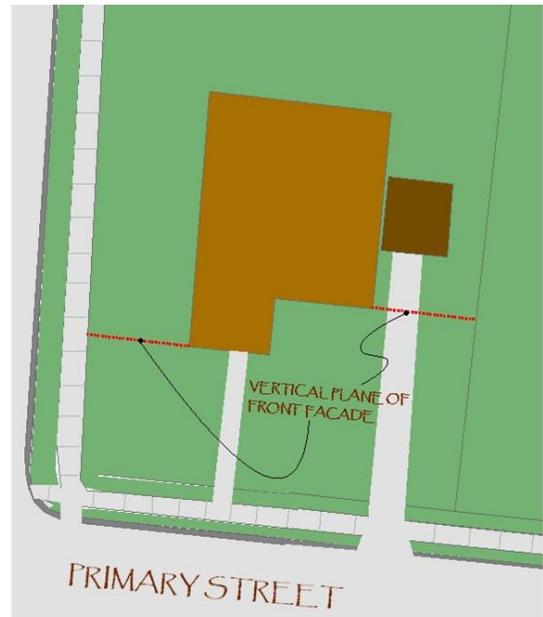
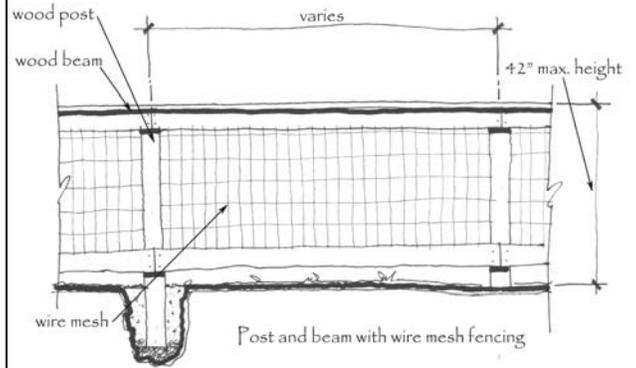
New front yard fences and walls shall be not more than forty-two inches (42") in height and separated from existing sidewalk by not less than two feet (2'-0").

For corner lots, new front and side yard fences shall match in construction materials and proportion. The height of side yard fencing shall match the front yard fence height (maximum of 42") to a point of ten feet (10' - 0") behind the vertical plane of the front façade of the principal dwelling structure. From the point ten feet (10' - 0") behind the vertical plane of the front façade, side yard fencing and rear yard fencing shall comply with UDC 35-314 *Fences and Walls* requirements.

All front fences and walls shall be recessed 5 feet behind the vertical plane of the front façade.

In some instances there may be two vertical front façade planes (see graphic). In this case, the front fence setback is determined from the closest façade corner. The fence must be recessed 5' behind the vertical front plane in which it is attached.

Retaining walls must be 6 inches above highest grade. Railroad ties and similar materials are not permitted.



Example of two front vertical façade planes

**Front fencing shall be recessed at the plane of the primary façade structure. The front façade of a primary structure does not include the front façade of a porch.**

## Roof Line and Pitch

Roofs for additions or renovations shall match the pitch, configuration (e.g. gable, hip or flat) and style (e.g. open eaves) of the existing structure.

Roofs may be entirely replaced with materials other than the original material and must comply with all UDC and NCD standards (height, materials, configuration, etc.) However, no V-crimp or similar roofing material is permitted.

Roofs for accessory structures must match the primary or principal structure in pitch and materials, and must not exceed the height standards for accessory structures.

All existing non-conforming roofs may be maintained and repaired, but cannot be expanded or structurally modified without meeting the roof NCD design standards.

### INTENT:

There are many different types of roof lines, roof materials, and roof pitches within the Jefferson Neighborhood. Each is a distinct architectural feature contributing to the character and scale of the neighborhood. The roof standards are intended to protect and maintain the architectural character and scale of the block face of the streetscape.

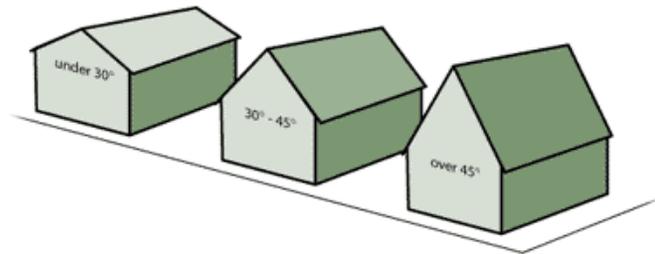
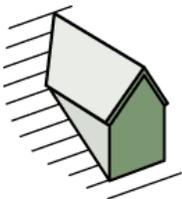


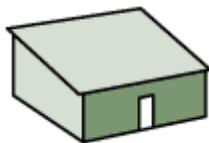
Illustration of sample roof slopes

**Roof Pitch:** The degree of slope/steepness of the roof from ridge to eave or valley.

- Low Slope: a roof angle or pitch that is less than 30 degrees
- Normal Slope: a roof whose angle or pitch is from 30 to 45 degrees
- Steep Slope: a roof whose angle is more than 45 degrees



**Dormers** rise up out of the roof and are often separate from the roof-to-wall junction. Dormers are classified by their roof shape (shed, hipped, gabled, flat, etc.)



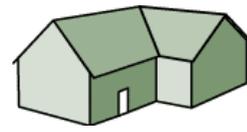
**Flat** roof with no slope and may terminate with or without eaves. A parapet is often present, providing a small "wall" around the perimeter of the roof line.



**Side Gabled**  
Locates the Front door on the non-gabled façade.



**Front Gabled**  
The peak or gable faces the front façade.



**Cross Gabled**  
May have a combination of front and side gables on primary façade.

**Garage entrance location:** For new construction, garage entrances must be recessed at least five feet (5' – 0") behind the front façade plane, or recessed five feet (5' – 0") from the front façade plane if attached.

**Carports:** A carport is a space for the housing or storage of motor vehicles and must be open on all four (4) sides unless attached to a maximum of two sides of the primary residential structure. Carports must be accessible from the public right-of-way (driveway). Prohibited carports include: temporary carports, vinyl, clothed, or canvassed coverings, PVC or similar piping support structure. The support structure for all carports must have engineered footings based on the IBC (International Building Code) adopted by the City of San Antonio.

**Detached side yard carports** must be recessed at least five feet behind the primary façade plane of the residential structure. Many carports in the Jefferson neighborhood are an integral element of the primary residential structure and share the same roof. **Attached carports** shall be constructed of the same building materials with the same scale, proportion, and/or profile and maintain the same roof line as the primary structure.

**Front yard carports** shall be entirely within the front yard setback and may not exceed 10 feet in total height. Detached front yard carports shall have a flat roof with base-board screening of the roofing material.



Above images show non-conforming carport building materials

**INTENT:**

Auto storage structures in the Jefferson neighborhood include a variety of attached and detached garages and carports.

Design standards for these structures are intended to provide appropriate placement and form in order to maintain the existing character of the neighborhood. Structures that dominate the streetscape of residential structures or those structures with inappropriate massing and/or materials are discouraged.



Above images illustrate typical conforming carport configurations for attached carports.



**Carports shall not be the dominating feature of a residential structure.**

Above images showing non-conforming carport roof height and materials.



conforming front yard carport

**INTENT:**

**Garage enclosures** can drastically change the character of the front façade of a residential structure. Many homes in the Jefferson Neighborhood were originally built to accommodate a single vehicle. Garage enclosure design standards are intended to preserve the character of the structure by blending the enclosure with the existing front façade design.

**The material for a front facing garage enclosure** shall consist of at least 40% of the primary façade material or similar matching material (*see illustration*). Windows shall also match the size and proportion of existing front façade windows.

A door or single set of French doors is permitted within the enclosed wall area. Sliding glass doors are not permitted on the primary street front façade of the primary structure.



Above pictures contrast the differences in conforming (top) and non conforming (bottom) garage enclosure materials. The windows in both images are non-conforming because they fail to match the existing window in scale and proportion.



Appropriately proportioned windows for garage enclosure (above left); non-conforming window proportions (above right)

**Impervious Cover** for all residential lots must not exceed 50% of the total lot area. Impervious cover includes non-permeable surfaces such as roads, parking areas, driveways, buildings, pools, patios, sheds, sidewalks, and other impermeable construction covering the natural land surface.



Image shows excessive residential impervious cover

**Landscaping and Tree Preservation**

The provisions of the UDC §35-523 (version in use at the time of adoption of this zoning overlay district, included for reference) shall be upheld as minimum landscaping standards for all new projects. City staff shall review tree preservation and help to propose alternative site and building arrangements prior to any degree of mitigation.

In addition to the standards noted in UDC Section 35-523, a tree survey (noting tree species and size) is

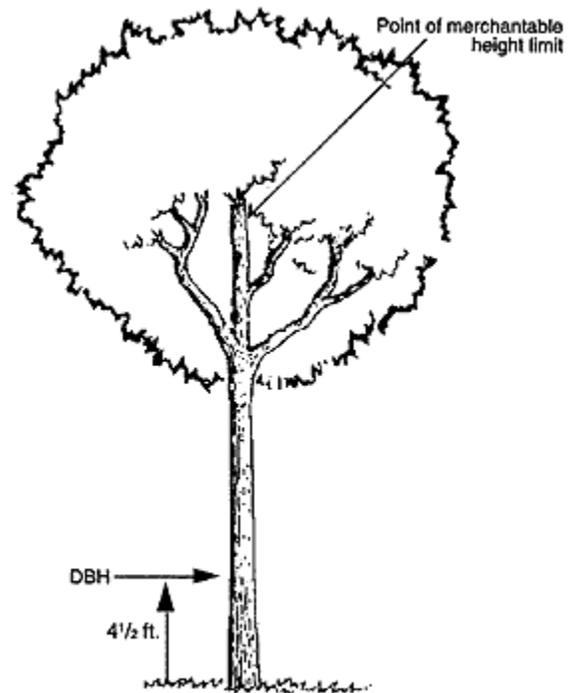
Tree-trunk diameters are measured at breast height (termed diameter at breast height or DBH), defined as the diameter of the tree 4-1/2 feet above ground on the uphill side of the tree. If a tree forks below breast height, each trunk is treated as a separate tree.

**See glossary of terms for additional landscape terms.**

**INTENT:**

The mature vegetative streetscape and tree canopy within the Jefferson Neighborhood is arguably the primary character defining feature of the area. Landscape and tree standards are intended to ensure that these natural features, particularly the tree canopy and mature vegetation, are preserved. It is intended that new development respect this important neighborhood character defining feature.

Artificial material, including turf grass, is not a permitted landscape surface.



Common reference points used to measure standing trees.

required for all new construction or rehabilitation (if enlarging building footprint), noting location, canopy and caliper of all trees 6: DBH and over. If the proposed area of a new construction necessitates the removal of any Significant, Heritage and Historic trees that are more than 20" DBH, an alternative site plan review will be required. This site plan review, conducted by the City Arborist, will determine and offer suggestions for alternative building areas, and/or satisfaction of mitigation requirements. Significant Heritage and Historic Trees shall not be removed unless no other site plan alternative is feasible.



Exposed and unscreened street utility boxes. Shrubs and bushes are appropriate screening materials for these structures.

**Walls** retaining walls must be 6 inches above highest grade. Railroad Ties and similar materials are not permitted.

**Utility Boxes** All utility boxes, HVAC equipment, and other utility services shall be screened from public right-of-way. Vegetation (shrubs, bushes, etc.) can be used as appropriate screening materials.

**Solar Panel Systems** The use of non-reflective solar shingles and/ or similarly discreet materials shall match and blend with the character and profile of the existing roof or structure.



Solar Shingles



Non-conforming satellite dish location

**Reception and antenna devices** such as satellite dishes, TV and radio antennas, and other devices shall be installed and placed to the rear of the primary structure and away from the public right of way unless the property owner or tenant can demonstrate: (1) placement causes an unreasonable delay or prevention of installation, maintenance or use; (2) placement causes unreasonable increase in the cost of installation, maintenance or use; or (3) precludes reception of an acceptable quality signal. Reception devices shall not extend more than 6 feet past the roof ridge of the primary structure.

**Ramps and similar structures** shall be built parallel to the front wall of the structure, if feasible. All ramps and railings must meet the most recent City of San Antonio building codes and shall be engineered to meet Americans with Disabilities guidelines. Non-wooden structures (metal aluminum, plastic, etc.) are not permitted.

**Lighting** for new area lighting fixtures mounted over-head on poles, mounting height shall not exceed fifteen feet (15' – 0"), and the axis of illumination shall be adjusted to an angle not more than twenty (20) degrees from the vertical line between the fixture and the ground.

For new area lighting using fixtures having an output of more than 1800 lumens, mounted at or near ground level and used to light a structure or other object, the axis of illumination shall be adjusted to minimize the amount of light escaping above, below and to the sides of the illuminated object

Wall packs shall be adjusted to minimize the amount of light emitted above the horizontal placement of the fixture.

**Glare-** new outdoor fixtures having a total output of more than 1800 lumens must be full-cut-off fixtures.

**Light Trespass-** All new lighting shall be aimed, located, designed, shielded, fitted and maintained so as not to project light onto a neighboring use or property.



Examples of appropriate wall-mounted light fixtures (wall packs) meeting the referenced standard



Diagram of area lighting with correct cut-off angles and overall height meeting the required standards

Want Ads—G-2111

1-ANNOUNCEMENTS

1-Announcements section containing various notices and public information.

Want Ads—G-2112

1-ANNOUNCEMENTS

1-Announcements section containing various notices and public information.

Want Ads—G-2113

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2114

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2115

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2116

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2117

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2118

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2119

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2120

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2121

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2122

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2123

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II-Real Estate section containing property listings.

Want Ads—G-2124

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2125

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2126

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2127

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Want Ads—G-2128

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Want Ads—G-2152

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II-Real Estate section containing property listings.

Want Ads—G-2153

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II-Real Estate section containing property listings.

Want Ads—G-2154

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II-Real Estate section containing property listings.

Want Ads—G-2155

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II-Real Estate section containing property listings.

Want Ads—G-2156

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II-Real Estate section containing property listings.

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II-Real Estate section containing property listings.

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II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2160

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2161

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2162

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2163

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2164

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2165

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2166

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2167

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2168

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2169

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2170

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2171

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2172

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2173

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2174

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2175

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2176

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2177

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2178

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2179

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2180

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2181

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2182

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2183

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2184

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2185

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2186

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2187

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2188

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2189

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2190

II—REAL ESTATE

II-Real Estate section containing property listings.

Want Ads—G-2191

II—REAL ESTATE

II-Real Estate section containing property listings.

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307 W. ELSMERE

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336 TENAS AVE.

307 NORMANDA

4731 McKinley Ave.

EDWIN P. ASHMEY CO.

336 Robin Hood Pl.

O'Reilly Realty Co.

145 CHERYL DR. W.

2842 W. FRENCH

145 Shadow Drive

239 Meredith Drive

202 W. Greenery Pl.

828 Loma St.

2427 W. Woodlawn

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814 WINDSOR

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Rock Duplex

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1 1/2 Story

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1-ANNOUNCEMENTS Special Notice						
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# L. E. FITE Builder-Developer of Jefferson Manor, Woodlawn Park and Other North Side Subdivisions Celebrates 20th Anniversary

## CONGRATULATIONS

TO

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20 Years a Builder and Developer—  
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206 OLMS DRIVE P-5141

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TO

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DEVELOPER OF JEFFERSON MANOR  
L. E. FITE QUALITY HOMES  
HAVE FIREPROOF INTERIOR WALLS  
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WALLS  
G. E. GYPSUM  
FIREPROOF SHEETROCK TILE  
BOARD  
BY  
Lumber Division  
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20 YEARS OF CREDITABLE BUILDING  
IS AN ACCOMPLISHMENT OF WHICH  
MR. FITE CAN WELL BE PROUD.  
WE HAVE INSTALLED THE PLUMBING  
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MOTHER AND DAD  
to  
JOHN AND MARY

"Here is a check for the down payment on that new home you have been wanting in Jefferson Manor. This will enable you to realize your present rent from \$20.00 per month to \$27.00, and of course become your own landlord. Under the F. H. A. plan your monthly payment includes principal, interest, taxes and insurance. We feel that this check will do you more good now than at some future time, and WE can see you enjoy it. We are wishing you many, many Happy Christmas in YOUR OWN HOME."

Affectionately,  
MOTHER AND DAD



L. E. FITE  
COMPLETED HOMES  
WE BELIEVE

30  
CONTEMPLATED HOMES  
WE BELIEVE

A HOME PLANNING  
SERVICE  
WE BELIEVE

WE meet your every desire in all things arrangement and lasting comfort—good name and quality. These homes are new and different—each has two, really bedroom abundance of closets—cupboards and perfectly appointed kitchens—containing tile bath—insulation—Ventilation—Hoods—completely finished your yards—down to garage.

WE delight you with their new and unusual interior surprises. We have just started this new group of 30 distinctive two and three-bedroom homes, featuring our same high quality workmanship and materials. Much time and thought is being given these plans to give you the type and quality of home you have always wanted but don't realize you could get without a much larger investment. The first of this group is just being finished.

WE please you. Our 20 years experience and construction knowledge through over 1200 San Antonio residences places us in a position to be of real service to those of you who would like to plan and build the home of your dreams. We are equipped to service your every need and desire—to handle all of your questions for you—your site—Your architectural requirements—Your financing—Your construction and to give you a finished product—

A Home of Your Own  
Ask us about this today!

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345 Meredith Drive  
319 Meredith Drive  
354 Meredith Drive  
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Materials in these homes was contracted ahead of the price advances.—While these last—YOU make this saving. Prices must and will advance.

ACT TODAY—  
Inspect these homes—from foundation to attic—Compare our quality and values. Let us explain how you can own one of them.

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When you look for a new home, be sure it has up-to-date electrical wiring. Inadequate old-fashioned home wiring is inconvenient and wastes electricity extravagantly. Adequate wiring delivers all the power you need without waste, and it provides an adequate number of outlets for all your lamps and appliances, and the good lighting—with enough switches properly located so that you need not take one step into a dark room, hall or stairway.

CONGRATULATIONS TO  
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Builder and Developer  
ON HIS  
20TH ANNIVERSARY

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**PUBLIC SERVICE**  
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## INSPECT TODAY

All Electric Home  
226 Thomas Jefferson Drive

BY  
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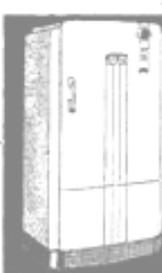
Built for the future, with beauty and convenience foremost in mind and incorporating

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All Electric Kitchen  
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Full Information Without Obligation  
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YOUR NEAREST G. E. APPLIANCE DEALER

# **NON-RESIDENTIAL DESIGN MATRIX**

CATEGORY	ISSUE	DESIGN STANDARD
<p><b>BUILDING MASS AND ARTICULATION</b></p>	<p><b>Massing</b></p>	<p>Increased residential density in designated commercial corridors is encouraged. page 40</p>
	<p><b>Vertical Height</b></p>	<p>There are requirements for walls, elevation height, and elevation changes. page 40</p>
	<p><b>Horizontal Depth</b></p>	<p>There are requirements for building depths and building façade distances for non-residential properties. page 40</p>
	<p><b>Other Articulation Options</b></p>	<p>For non-residential development all building shall incorporate at least four of the following building elements: awnings, pillars, canopies, alcoves, windows, recessed entries, ornamental cornices, pillar posts and/or other building elements that contribute to the human scale of the building. page 41</p>
	<p><b>Building Height</b></p>	<p>The maximum building height for any new construction or vertical addition is determined by the location of the property with respect to the proximity to residential areas. page 42</p>
<p><b>PRINCIPAL ELEVATION FEATURES</b></p>	<p><b>Fenestration</b></p>	<p>Doors/ Entrances shall be located either along the primary street façade, entrance doors shall be recessed no more than 10% of the depth of the building, up to a maximum of 8ft. The area on the front (street-facing) façade dedicated to openings (windows and doors) shall be at least 50% of the first floor. When replacing windows, the original profile must be maintained, although there is no restriction on replacement material. page 43</p>
	<p><b>Entryways and Customer Entrance</b></p>	<p>Any front entry shall be set back from the drive a minimum distance of 10 feet. page 43</p>

<b>CATEGORY</b>	<b>ISSUE</b>	<b>DESIGN STANDARD</b>
<b>Treatments and Pedestrian Routes</b>	There are requirements for single-use or multi-tenant buildings over 50,000 square feet regarding: customer entrances, outdoor patios, benches, decorative landscape planters, structural shading, and pedestrian routes between parking areas and buildings.	page 43
<b>Signage</b>	There are requirements for non-residential signage, monument signs, pole signs, projecting signs, attached signs, and there are prohibited signs.	page 44
<b>Fencing</b>	Fencing is not permitted in the front yard area of non-residential parcels.	page 45
<b>Parking</b>	Parking spaces shall be completely separated and screened from the streetscape. When feasible, parking shall be located behind the building. There are screening requirements, setback requirements, parking lot lighting requirements, and ingress and egress requirements.	page 46
<b>Landscaping Within Parking Areas</b>	There are parking space requirements, landscaping requirements, tree requirements, visibility, and driveway landscaping requirements.	pages 46-47
<b>Building Materials</b>	There are building material requirements for the front facing façade if viewable from the public right-of-way for non-residential buildings regarding: materials, glass, reflectance, and concrete products. There is also a list of prohibited building materials.	page 48
<b>Roofing Materials and Treatments.</b>	There are roofing and material treatment requirements regarding parapets, roof top equipment visibility, overhanging eaves, and roof shingles.	page 49



## NON - RESIDENTIAL DESIGN STANDARDS

The non-residential design standards found in this section of the Jefferson NCD plan focus on the commercial node found at the intersection of Donaldson and Manor. This commercial area is anchored by the Jefferson Village Shopping Center. Built in 1948, Jefferson Village was “adjudged the best shopping center produced in the nation” at the 1948 Washington, D.C. conference sponsored by the National Association of Home Builders, and the Urban Land Institute [1]. It is said to be the first commercial “strip” in the country, and served as a model for commercial centers that followed.



Above pictures show the Jefferson Village Shopping Center, 2008 (left) and about 1960 (right)

The intent of non-residential design standards is not to replicate the historic success of the buildings, but to enhance the area by promoting and encouraging appropriate arrangement of buildings, parking areas, pedestrian spaces, and building configurations that are desired by the community.

These standards address all existing and future developments of non-residential structures and areas. The base zoning of the subject property will be used to determine which design standards (residential vs. non-residential) will apply.

Civic buildings and religious sanctuaries are exempt from the design standards of this document.

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1. <http://www.1fite.com/12f.html>

## Building Mass and Articulation

### Massing

Increased residential density in designated commercial corridors is encouraged.

**Building Articulation** is required for all non-residential structures that are adjacent to or front a public roadway, park, or residential district.

### Vertical/ Height

- No wall shall extend horizontally for a distance greater than three times its average height without a change in elevation.
- An elevation height change shall be a minimum 15 percent of the average building height.
- An elevation change shall continue to extend laterally for a distance equal to at least 10 percent of the entire front façade area.
- Elevation changes can be of varying heights as long as the minimal standard is satisfied.

### Horizontal/ Depth

- No building façade shall extend for a distance greater than three times its average height without a perpendicular offset.
- Offset depth shall be a minimum 15 percent of the average building height.
- Offset shall extend laterally for a distance equal to at least 10 percent of the entire front façade area.
- Offsets width may be of varying depth as long as the minimal standard is satisfied.

### INTENT:

Building articulation standards are intended to ensure that the front façades of non-residential structures have a variety of offsets, relief, and insets to provide a more interesting and attractive front façade appearance.

### Definition:

**Articulation** refers to design elements, both horizontal and vertical, that help break up the massing of a structure in order to create an interesting building façade and streetscape.

**Offset** is the recession or break-up of the building façade.

**Façade** is the front facing portion of the building. For calculation purposes, the horizontal façade is the total distance of the building line. The vertical façade is the total height of the façade.



Above image represents an appropriate elevation height change. (at least 15 percent of the average building height)

### **Other articulation options**

For new non-residential development, all buildings shall incorporate at least four of the following building elements:

- awnings
- pillars
- canopies
- alcoves
- windows
- recessed entries
- ornamental cornices
- pillar posts
- other building elements that contribute to the human scale of a building.



Front building articulation achieved with awnings and multiple façade recessions.



Vacant big-box retail building exhibiting no building offset articulation and non-conforming fenestration transparency.

**INTENT:**

The non-residential building height standards are based on the proximity and type of adjacent residential uses.

The south side of Donaldson, along Senisa Street, consists of medium density residential uses. The north side of Donaldson, along Meredith Street, consists of low density residential uses. With lower density residential to the north of the Donaldson commercial node, a lower building profile along the north side of Donaldson is desired.

The height for commercial structures along the south side of Donaldson is determined by taller, higher density residential structures to the south.



Existing medium density residential area along Senisa is lined with predominantly two-story structures.

**Building Height**

The maximum building height for any new construction or vertical addition is determined by the location of the property with respect to the proximity to residential areas.

**Donaldson, between Mabry and Manor**

- For structures along the south side of Donaldson, the maximum building height is three stories not to exceed forty five feet (45') from grade to the peak roof line.
- For structures along the north side of Donaldson, the maximum building height is one story not to exceed twenty five feet (25') from grade to the peak roof life.

All other non-residential buildings shall not exceed twenty-five feet (25') from grade to the peak roof line.



**Land Use map** of the Jefferson Area Commercial node showing medium density residential uses to the south of Donaldson, and low density residential uses to the north. The height standards for this node considers the varying densities of adjacent residential land uses.



front facing façade with openings (windows and doors) of at least 50% of the first floor.



Above image illustrates clearly defined, highly visible customer entrances, decorative planters, and structural and vegetative shading components.

## Principal Elevation Features

### Fenestration

Doors/ Entrances shall be located either along the primary street façade, or within 45 degrees, if at a corner. Entrance doors shall be recessed no more than 10% of the depth of the building, up to a maximum of 8 feet.

The front area (street-facing) façade dedicated to openings (windows and doors) shall be at least 50% of the first floor. When replacing windows, the original profile shall be maintained, although there is no restriction on replacement material.

### Entryways and Customer Entrance

Any front entry shall be set back from the drive a minimum distance of 10 feet.

### Treatments and Pedestrian Routes

Single-use or multi-tenant buildings over 50,000 square feet in size must provide clearly defined, highly visible customer entrances that include an outdoor patio area, at least 200 square feet in area, that incorporates the following:

- (1) benches or other components;
- (2) decorative landscape planters or wing walls that incorporate landscaped areas;
- (3) structural or vegetative shading; and
- (4) pedestrian routes between parking areas and buildings
  - a.) where the pedestrian route crosses drive lanes, the pedestrian route shall be clearly striped to warn vehicle drivers of the pedestrian crossing;



An appropriately marked pedestrian route connecting the building to the front public sidewalk.

- b.) the minimum width of the pedestrian walkway, including landscaping, shall be 10 feet.
- c.) the pedestrian route shall be separated from the parking stalls with a combination of landscaping and edging;
- d.) at least one direct pedestrian route shall be provided to connect the building and the front property public sidewalk.

### Signage

Individual building signage may have up to one (1) sign per street façade with a spacing no less than a 100 ft radius.

**Monument Signs** shall be no taller than 8 feet and may not exceed 30 square feet in area for a single-tenant building, or 50 square feet in area for a multi-tenant building. Monument signs must not obscure building details.

**Pole Signs** free-standing signs shall be no taller than 15 feet and may not exceed 30 square feet in area for a single-tenant building, or 64 square feet in area for a multi-tenant building. Free-standing signs must not obscure building details. Pole signs shall not exceed 20 feet in height for multi-tenant shared signage.

**Projecting Signs** shall not project more than 3 feet, and shall not be greater than 8 square feet in area for a single-tenant building, or 20 square feet in area for a multi-tenant building.

### INTENT:

The type, size, and design of commercial signage is an important character-defining feature for non-residential areas. The purpose of sign standards is to ensure appropriate placement and form for various types of signage.

A collection and massing of signage often detracts from the aesthetic character of an area.

**Monument Sign:** a sign which is situated on the ground and not supported by a pole(s) over 7 feet in height.



Sample monument sign

**Attached Signs** shall not exceed 10% of the primary front building façade. Individual tenant signage shall not exceed 15 square feet in area, and shall consist of a.) one canopy sign under canopy/awning or b.) one wall sign at the entrance to tenant space. Permanent lettering (painted or affixed) used on transparent surfaces and similar fenestrations shall not obscure more than 10% of the transparent/fenestration surface (windows, doors).

### Prohibited Signs

Moving signs, LED signs, blinking or flashing signs are not permitted. Portable, inflatable, and/or vinyl and changeable lettering signs are not permitted. Off-premise (billboard) signs are not permitted.

Sidewalk signs are permitted, but shall not exceed 42" in height. Sidewalk signs must be within 10 feet of the structure of the business or establishment for which it is advertised.

Non-blinking neon signs are permitted.

**Pole Sign (free-standing):** any sign affixed to the ground or mounted on a fence or wall which is not an integral part of a building or accessory structure.

**Projecting Sign:** a sign projecting horizontally from a building or accessory structure.

**Attached Sign:** any sign attached to, applied on or supported by any part of a building or accessory structure.

**Off-Premise (billboard) Sign:** a sign which does not exclusively refer to the name, location, products, persons, services or activities of or on the premises where it is located.



As the above picture illustrates, the character of an area can be significantly influenced by signage.

### Fencing

Fencing is not permitted in the front yard area of non-residential parcels.

## Parking

Parking spaces shall be completely separated and screened and buffered from the streetscape. When feasible, parking shall be located behind the building. Screening materials may include landscape or other vegetation (shrubs, trees) or wall or fence structure with a maximum of three feet (3') in height.

**Setback Required** All parking areas or parking spaces serving uses other than residential shall be set back a minimum of ten (10') feet from any public right-of-way.

**Lighting** Any lighting used to illuminate any off-street parking area shall be designed and constructed so as to be reflected downward and away from any adjoining property or street. Lighting poles shall not exceed 20 feet in height with a maximum of 5 c.f. luminary.

**Vehicles Backing Into Public Streets and Sidewalks** No parking space or parking area shall be designed so as to require a vehicle to back into a public street or across a public sidewalk. All maneuvering shall be on-site.

**Parking Spaces/Areas Serving Uses other than Residential** shall be designed and constructed so as to have free ingress and egress at all times.

## Landscaping Within Parking Areas

(1) All outdoor parking areas having spaces for more than 20 vehicles shall have landscaping within the perimeter of the parking areas equal in area to not less than five percent of the total paved area.

### INTENT:

Parking areas tend to dominate places, and deter pedestrian activity. The purpose of these parking guidelines is to appropriately accommodate vehicles, encourage safe pedestrian activity, and enhance the aesthetic appearance of the streetscape.

Although head-in parking is prevalent along the north side of the Donaldson commercial area, future redevelopment will require off-street parking accommodates in the interest of pedestrian and vehicle safety.

### Definition:

Landscape: Trees, shrubs, vegetative ground cover, vines, or grass.

Landscape Area: The area (greater than one foot in width) within the boundary of a lot or parcel that is comprised of pervious surface integrated with living plant material, including but not limited to trees, shrubs, flowers, grass, or other living ground cover or native vegetation. Undeveloped portions of the site cannot be considered landscaped area.

(2) No parking space shall be located more than 50 feet from a portion of the required landscaping.

(3) Each landscape island within a parking lot shall contain a minimum square footage equivalent to one parking space of pervious area, shall be at least ten feet wide, and shall allow at least four feet between any trees within the island and the edge of the island.

(4) One tree of at least three-inch caliper in size shall be provided within the perimeter of the parking area for each 250 square feet of landscaping required.

(5) Landscaped terminal islands (end islands) shall be located at the end of all parking aisles in a configuration to allow for turning radii of intersecting aisles in order to protect parked vehicles, provide for visibility, confine moving traffic to aisles and driveways, and provide space for landscaping. Required or provided landscaping shall not obstruct the view of any vehicle backing areas or turning areas in a way that creates a hazard.

(6) Parking structures shall be constructed at-grade and sub-grade only.

(7) Service areas and loading docks shall be to the rear of the building for structures exceeding 5,000 square feet.

(8) Refuse containers and dumpsters shall be located at the rear of the structure and shall be enclosed with a solid fence with a gate. Enclosures shall be screened from the public right-of-way.



Above picture shows an appropriate setback and vegetative screening of a non-residential parking area.



appropriately landscaped end island



A conforming dumpster enclosure.

**Building Materials**

The front facing façade, and side façade if viewable from the public right-of-way, for all non-residential buildings shall be finished in a combination of the following materials:

**A.** At least 25% of the public facing façade area shall consist of one or more of the following materials:

- (1) Brick, stone, cast stone, rock, marble, granite, glass block, tile;
- (2) Stucco or plaster

**B.** The remainder of the public facing façade area shall consist of any combination of building materials:

- (1) Glass with less than 20 percent reflectance (however, only a maximum of 50 percent of a building may be constructed in glass)
- (2) Split-face concrete block, poured-in-place concrete, and tilt-wall concrete. Any use of concrete products shall have an integrated color and be textured or patterned. Tilt-wall concrete structures shall include reveals, punch-outs, or other similar surface characteristics to enhance the façade on at least ten percent of each façade.

**Prohibited Building Materials**

1. Wood fiber hardiboard;
2. Oriented strand board;
3. Plastic / fiberglass panels;
4. Corrugated, ribbed, galvanized, aluminum coated, zinc-aluminum coated or unpainted exterior metal finish;
5. Metal Panels;
6. Unfired or underfired clay, sand, or shale brick;
7. Unfinished concrete masonry units (i.e. cinderblock);
8. Smooth or undeterred concrete finishes;
9. Mirrored glass with a reflectance of greater than 20%;
10. Vinyl Siding

## **Roofing Materials and Treatments**

Parapets shall be used to conceal roof top equipment on flat roofs. If a sight line drawing is provided with the site plan showing that all roof top equipment will not be visible from the front or side property line, then a parapet wall shall not be required.

Where overhanging eaves are used, overhangs may be no less than two feet beyond the supporting walls.

Any roof using shingles shall use dimensional shingles (shingles having a shadow at the top exposure giving added depth and definition).

Red tile roofs are not considered shingles for the purpose of this section.



**APPENDIX A**

**ENABLING ORDINANCE**

## Appendix A

### ENABLING ORDINANCE

Section 35-335 of the San Antonio Unified Development Code provides the framework for establishing Neighborhood Conservation Districts.

#### **35-335 Neighborhood Conservation District (NCD)**

**(a) Purpose.**

- (1) Within the City of San Antonio there are many unique and distinctive residential neighborhoods or commercial districts which contribute significantly to the overall character and identity of the City. They are worthy of preservation and protection, but may lack sufficient historical, architectural or cultural significance at the present time to be designated as historic districts. As a matter of public policy, the City Council aims to preserve, protect, enhance, and perpetuate the value of these residential neighborhoods or commercial districts through the establishment of Neighborhood Conservation Districts.
- (2) The purposes of a Neighborhood Conservation District in residential neighborhoods or commercial districts are as follows:
  - A. to protect and strengthen desirable and unique physical features, design characteristics, and recognized identity and charm;
  - B. to promote and provide for economic revitalization;
  - C. to protect and enhance the livability of the City;
  - D. to reduce conflict and prevent blighting caused by incompatible and insensitive development, and to promote new compatible development;
  - E. to stabilize property values;
  - F. to provide residents and property owners with a planning tool for future development;
  - G. to promote and retain affordable housing;
  - H. to encourage and strengthen civic pride; and
  - I. to ensure the harmonious, orderly and efficient growth and redevelopment of the City.
- (3) The Neighborhood Conservation District planning tool implements the following policies of the Master Plan:
  - A. Neighborhoods, Policy 2b (1): Establish a zoning classification such as a Conservation District or a Planned Development District for neighborhood specific plans.
  - B. Urban Design, Policy 1b (1): Create and adopt urban design guidelines and standards that will enhance the quality of life in San Antonio, and which specifically encourage the following...preservation and enhancement of the City's important historic and cultural characteristics, including architectural styles and historic districts, as well as existing residential and commercial districts, and neighborhood centers.
  - C. Urban Design, Policy 1d (1): Involve neighborhoods in developing neighborhood-specific plans that define the character and pattern of development for their neighborhood, and that establish infill development guidelines.

**(b) Designation Criteria.**

To be designated as a Neighborhood Conservation District, the area must meet the following criteria:

- (1) contain a minimum of one blockface (all the lots on one side of a block);
- (2) at least 75% of the land area in the proposed district was improved at least 25 years ago, and is presently improved; and
- (3) possess one or more of the following distinctive features that create a cohesive identifiable setting, character or association:
  - A. scale, size, type of construction, or distinctive building materials;
  - B. spatial relationships between buildings;
  - C. lot layouts, setbacks, street layouts, alleys or sidewalks;
  - D. special natural or streetscape characteristics, such as creek beds, parks, greenbelts, gardens or street landscaping;
  - E. land use patterns, including mixed or unique uses or activities; or
  - F. abuts or links designated historic landmarks and/or districts.

**(c) Zoning Authority.**

- (1) Separate ordinances are required to designate each Neighborhood Conservation District. Ordinances designating each district shall identify the designated boundaries, applicable Designation Criteria and design standards for that district, and be consistent with any existing Neighborhood and/or Community plans.
- (2) Overlay district. Neighborhood Conservation Districts are designed as overlays to the regular zoning districts. Property designated within these districts must also be designated as being within one or more of the regular base zoning classifications. Authorized uses must be permitted in both the regular zoning district and the overlay district. Property designated as a Neighborhood Conservation District may have additional designations. Such property shall comply with all applicable use restrictions.
- (3) Zoning designation. The zoning designation for property located within a Neighborhood Conservation District shall consist of the base zone symbol and the overlay district symbol (NCD) as a suffix. Neighborhood Conservation Districts shall be numbered sequentially to distinguish among different districts, i.e., R-6 (NCD-1), C-1 (NCD-2), etc.
  - A. The designation of property within a Neighborhood Conservation District places such property in a new zoning district classification and all procedures and requirements for zoning/rezoning must be followed.
  - B. In the event of a conflict between the provisions of a specific Neighborhood Conservation District ordinance and the regular base zoning district regulations, the provisions of the Neighborhood Conservation District ordinance shall control.
  - C. Except as modified by this section, the procedures for zoning changes set forth in § 35-3024 shall otherwise apply to the designation of an area as a Neighborhood Conservation District.
  - D. Upon designation of an area as a Neighborhood Conservation District, the City Council shall cause notice of such designation to be recorded in the official public records of real property of Bexar County, the tax records of the City of San Antonio and the Bexar Appraisal District, and the House Numbering section of the City of San Antonio's Development Services Department.

(Ord. No. 98697 § 5)

**(d) Initiation Procedures.**

- (1) A zoning change application for designation as a Neighborhood Conservation District shall be initiated at the direction of the:
  - A. request of owners representing 51% of the land area within the proposed district, or
  - B. request of 51% of the property owners within the proposed district, or
  - C. Director of Planning, pursuant to a Neighborhood or Community Plan adopted by City Council, or City or community revitalization program.
- (2) Following initiation for designation of a Neighborhood Conservation District, the Planning Department shall develop a Neighborhood Conservation Plan for the proposed district that includes:
  - A. maps indicating boundaries, age of structure and existing land use within the proposed district,
  - B. maps and other graphic and written materials identifying and describing the distinctive neighborhood and building characteristics of the proposed district;
  - C. a list of all property owners (with legal addresses), neighborhood associations and/or other organizations representing the interests of property owners in the proposed district; and
  - D. design standards.
- (3) All property owners within the proposed district shall be afforded the opportunity to participate in drafting the Neighborhood Conservation Plan, which will be approved as part of the zoning ordinance creating a Neighborhood Conservation District.

**(e) Design Standards.**

- (1) The conservation plan approved as part of the zoning ordinance creating a Neighborhood Conservation District shall include Design Standards for new construction of any building or structure, or the relocation or rehabilitation to the street façade of an existing building or structure.
- (2) The Neighborhood Conservation Plan, and requisite Design Standards shall not apply to those activities which constitute ordinary repair and maintenance, i.e., using the same or similar material and design.
- (3) The Design Standards for the Neighborhood Conservation District must include at a minimum (or note the inapplicability), the following elements governing the physical characteristics and features of all property (public or private) within the proposed district:
  - A. building height, no. of stories;
  - B. building size, massing;
  - C. principal elevation features;
  - D. lot size, coverage;
  - E. front and side yard setbacks;
  - F. off-street parking and loading requirements;
  - G. roof line and pitch;
  - H. Paving, hardscape covering;

- (4) In addition, the Design Standards may include, but shall not be limited to, the following elements:
- A. building orientation;
  - B. general site planning (primary, ancillary structures);
  - C. density;
  - D. floor area ratio;
  - E. signage;
  - F. architectural style and details;
  - G. building materials;
  - H. garage entrance location;
  - I. window/dormer size and location;
  - J. landscaping;
  - K. fences and walls;
  - L. entrance lighting;
  - M. driveways, curbs and sidewalks;
  - N. utility boxes, trash receptacles;
  - O. street furniture;
  - P. solar systems, components;
  - Q. building relocation;
  - R. right-of-way (exceeding Public Works standards)

**(f) Neighborhood Ordinance Administration**

- (1) No building permit shall be issued by the Department of Development Services for new construction or an alteration or addition to the street façade of an existing building or structure within a designated Neighborhood Conservation District without the submission and approval of design plans and the issuance of a Certificate of Compliance by the Director of Development Services.
- (2) The Director of Development Services shall forward a copy of a building permit application to the Director of Planning for review and comment.

(Ord. No. 98697 § 1)

**(g) Violation of Provisions.**

- (1) The violation of any provision of this section shall constitute a violation of this Chapter and may be prosecuted in municipal court regardless of whether civil or administrative action is taken against the permit holder. Upon conviction, the permit holder shall be subject to the penalties prescribed in Article 1, Division 2 of this Chapter.
- (2) The Director of Planning may request the City Attorney to institute a civil action as prescribed in Article 1, Division 2, regardless of whether a criminal action has been taken.



# **APPENDIX B**

## **GLOSSARY**

## Appendix B

# GLOSSARY

**Accessory detached dwelling unit** - A dwelling unit that is accessory, supplementary, and secondary to the principal dwelling that may be constructed as an addition to the principal structure or as an accessory to the principal structure. An accessory dwelling unit is detached from the principal dwelling.

**Accessory dwelling** - An accessory detached dwelling unit or an accessory apartment. Accessory dwelling standards - See § 35-371 of the UDC.

**Accessory use or building** - A subordinate use or building customarily incident to and located on the same lot with the main use or building. **Addition** - A completely new structure or new component to an existing structure.

**Adjacent** - Two (2) properties, lots or parcels are “adjacent” where they abut, or where they are nearby and are separated by a dissimilar type of manmade or geologic feature including but not limited to a Roadway or Street, Right-of-Way, or railroad line, or any stream, river, canal, lake, or other body of water. Adjacent may or may not imply contact but always implies absence of anything of the same kind in between.

**Alley** - A minor public right-of-way not intended to provide the primary means of access to the abutting lots, which is used for vehicular service access to the back or sides of properties otherwise abutting on a public street.

**Alteration** - (Generally, as applied to a building or structure): A change or rearrangement in the structural parts or an enlargement, whether by extending on a side or by increasing in height, or the moving from one (1) location or position to another.

**Alteration** - For purposes of Historic Preservation & Urban Design, Article 6, any construction or change of the exterior of a building, object, site, or structure, or of an interior space designated as a landmark. For buildings, objects, sites or structures, alteration shall include, but is not limited to, the changing of roofing or siding materials; changing, eliminating, or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, balconies, signs, or other ornamentation; the changing of paint color; regrading; fill; imploding, or exploding, or other use of explosives or external forces. Alteration shall not include ordinary repair and maintenance.

**Apartment** - See Dwelling, multi-family.

**Awnings** – A roof-like cover, often of fabric, metal, or glass, designed and intended for protection from the weather or as a decorative embellishment, and which projects from a wall or roof of a structure over a window, walk, door, or the like.

**Back yard** – The area from the rear façade of the principal structure to the back (away from primary public right-of-way) property line.

**Base zoning district** - Any of the zoning districts established pursuant to § 35-302(a) of the UDC.

**Block face** - The properties abutting one (1) side of a street and laying between the two (2) nearest intersecting or intercepting streets, or nearest intersection or intercepting street and/or railroad right-of-way, undivided land, water course or city boundary.

**Building** - A structure designed, built or occupied as a shelter or roofed enclosure for persons, animals or property. For the purpose of this definition, "roof" shall include an awning or other similar coverings, whether or not permanent in nature. Without limiting the generality of the foregoing, the following shall be considered a "building": a house, barn, church, hotel, warehouse, or similar structure, or a historically related complex, such as a courthouse and jail or a house and barn.

**Building Articulation** – Refers to the many street frontage design elements both horizontal and vertical that help create a streetscape of interest. The appropriate scale of articulation is often a function of the size of the building and the adjacent public spaces including sidewalks, planting zones, and roadways.

**Building elevation** - The view of any building or other structure from any one of four sides showing features such as construction materials, design, height, dimensions, windows, doors, other architectural features, and the relationship of grade to floor level.

**Building footprint** - The horizontal area measured within the outside of the exterior walls of the ground floor of the main structure.

**Building mass** – See Mass.

**Building setback line** - See Setback line.

**Carport** - Space for the housing or storage of motor vehicles and enclosed on not more than two (2) sides by walls.

**Civic buildings** - Any type of public buildings including: offices, libraries, playgrounds, parks, assembly halls, police stations, fire stations.

**Commercial property** - A building, site, or structure whose use after rehabilitation or restoration (for ad valorem tax exemption) will be for other than residential use, i.e., for a single family, duplex, three or four family dwelling or greater for the purposes of this zoning overlay only.

**Common lot line** – a boundary of two adjacent parcels owned by the same person(s) or entity.

**Construction** - The act of adding an addition to an existing building or structure, or the erection of a new principal or accessory building or structure on a lot or property, or the addition of walks, driveways or parking lots, or the addition of appurtenances to a building or structure.

**Courtyard** - A space, open and unobstructed to the sky, located at or above grade level on a lot and bounded on three or more sides by the walls of a building.

**Cross gabled** – May have a combination of front and side gables on primary façade.

**Cutoff angle** - The angle formed by a line drawn from the direction of light rays at the light source and a line perpendicular to the ground from the light source, above which no light is emitted.

**Demolition** - The complete or partial removal of a structure from a site.

**Detached structure** - A structure having no party wall or common wall with another structure unless it is an accessory structure.

**Development** - Any man-made change in improved and unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or, drilling operations or storage of equipment or materials.

**District** - A geographically definable area, urban or rural, possessing a significant concentration, linkage, or continuity of buildings, objects, sites, or structures united by past events or aesthetically by plan or physical development which may also comprise individual elements separated geographically but thematically linked by association or history.

**Dormers** – Rise up out of the roof and are often separate from the roof-to-wall junction. Dormers are classified by their roof shape (shed, hipped, gabled, flat, etc).

**Driveway** - Entrance to and exit from premises where it is possible to park completely off the street, and which is not open for vehicular traffic except by permission of the owner of such private property.

**Driveway approach** - A way or place including paving and curb returns between the street travel lanes and private property which provides vehicular access between the roadway and such private property.

**Driveway, front-loaded** - A driveway which begins at, or abuts, the front property line of a lot or parcel.

**Duplex** - See Dwelling two-family.

**Dwelling, Single-Family Attached (Townhouse)** - A building that has one-family dwelling units erected in a row as a single building on adjoining lots, each being separated from the adjoining unit or units by a fire wall (constructed in accordance with city codes and ordinances), along the dividing lot line, and each such building being separated from any other building by space on all sides. Each unit maintains a separate lot.

**Dwelling, Single-Family Detached** - A one-family dwelling that is not attached to any other dwelling by any means and is surrounded by open space or yards.

**Dwelling, two-family (duplex)** - A detached house (on a platted single lot) designed for and occupied exclusively as the residence of not more than two (2) families, each living as an independent housekeeping unit.

**Dwelling, three-family (triplex)** - A detached house (on a platted single lot) designed for and occupied exclusively as the residence of not more than three (3) families, each living as an independent housekeeping unit.

**Dwelling, four-family (quadruplexes)** - A detached house with common walls between the units, designed for and occupied exclusively as the residence of not more than four (4) families, each living as an independent housekeeping unit.

**Dwelling, multi-family** - A dwelling or group of dwellings on one (1) lot containing separate living units for five (5) or more families, but which may have joint services or facilities.

**Dwelling unit** - One (1) or more rooms providing complete living facilities for one (1) family, including kitchen facilities or equipment for cooking or provisions for the same, and including room or rooms for living, sleeping, bathing and eating.

**Easement** - A grant of one or more of the property rights by the property owner to and/or for the use by the public, a corporation, or another person or entity.

**EIFS** – (Exterior Insulation and Finish Systems) provides exterior walls with as insulated finished surface, and waterproofing in an integrated composite material. EIFS is often referred to as “synthetic stucco.”

**(\*)Façade** - The exterior wall(s) of a building exposed to public view or that wall viewed by persons not within the building.

**(\*)Façade Surface Area** - the measure of the exposed area of front wall(s) calculated by geometric area formula of the shapes of those exposed wall(s).

**Flat roof** – Roof with no slope and may terminate with or without eaves. A parapet is often present, providing a small “wall” around the perimeter of the roof line.

**Fenestration** - Window treatment in a building or façade.

**Floor area** - The sum of the gross horizontal areas of all floors of a structure, including interior balconies and mezzanines, measured from the exterior face of exterior walls, or from the centerline of a wall separating two (2) structures. The floor area shall include the area of roofed porches having more than one (1) wall and of accessory structures on the same lot. Stairwells and elevator shafts shall be excluded.

**Floor to Area Ratio (FAR)** – The Floor to Area Ratio (FAR) uses a Floor Space Index (FSI) to determine the ratio of total living space allowed on a lot or parcel relative to the size of the lot or parcel. This ratio protects the character of the neighborhood by ensuring appropriately scaled structures. The Jefferson Neighborhood Conservation District has adopted a 0.25 FSI multiplier to be used to calculate the maximum living space (square footage) of the principal dwelling.

**Floor Space Index (FSI)** - Floor Space Index (FSI) determines the ratio of total living space allowed on a lot or parcel relative to the size of the lot or parcel. The Jefferson Neighborhood Conservation District has adopted a 0.25 FSI multiplier to be used to calculate the maximum living space (square footage) of the principal dwelling.

**Front gabled** – The peak or gable faces the front façade.

**Front yard** – The area from the front façade of the principal structure to the street or public right-of-way.

**(\*) Frontage** - The frontage of a parcel of land or building is that distance where a property line is common with a street right-of-way line.

**Garage, private** - A building or part thereof accessory to a main building and providing for the storage of automobiles and in which no occupation or business for profit is carried on, enclosed on all four (4) sides, and pierced only by windows and customary doors.

**Glare** - The sensation produced by luminance within the visual field that is sufficiently greater than the luminance to which the eyes are adapted to cause annoyance, discomfort, or loss in visual performance and visibility.

**(\*)Glazing** - the clear translucent material through which light can pass into a building through an opening in a building's exterior wall (usually a door or window), typically glass but can be made of other similar materials.

**Green space** - Land shown on an urban corridor site plan which may be improved or maintained in a natural state and which is reserved for preservation, recreation, or landscaping.

**Half story** - An uppermost story usually lighted by dormer windows, in which a sloping roof replaces the upper part of the front wall, and habitable areas on the uppermost story do not exceed a floor area derived by multiplying the floor area of the ground floor by fifty percent (50%).

**Height, building** - The vertical dimension measured from the average elevation of the finished lot grade at the front of the building to the highest point of ceiling of the top story in the case of a flat roof; to the decline of a mansard roof; and to the average height between the plate and ridge of a gable, hip or gambrel roof.

**Impervious cover** - Roads, parking areas, buildings, pools, patios, sheds, driveways, private sidewalks, and other impermeable construction covering the natural land surface; this shall include, but not [be] limited to, all streets and pavement within the subdivision.

**Infill** – Development occurs on vacant or underused lots in otherwise built-up sites or areas. Infill projects can take several forms, such as a small addition in a residential backyard, or a single or multi-parcel development.

**“Percent impervious cover”** is calculated as the area of impervious cover within a lot, tract, or parcel or within the total site being developed, divided by the total area within the perimeter of such lot, tract, parcel or development. Vegetated water quality basins, vegetated swales, other vegetated conveyances for overland drainage, and public sidewalks shall not be calculated as impervious cover.

**Porch** – A roofed area, which may be screened, attached to or part of and with direct access to or from a structure and usually located on the front side of the structure, not to extend 50% of the front façade.

**Land use category** - A classification of uses as set forth in the use matrix (see key to use matrix for rules of interpretation)

**Landscaping** - The process or product of site development including grading, installation of plant materials and seeding of turf or ground cover.

**Lot** - A designated parcel or area of land established by plat to be used, developed, or built upon as a unit.

**Lot, corner** - A lot or parcel of land abutting upon two (2) or more streets at their intersection, or upon two (2) parts of the same street forming an interior angle of less than one hundred thirty-five (135) degrees.

**Lot depth** - The mean horizontal distance between the front and rear lot lines.  
Lot design standards - See Residential Design Standards of this document and § 35-603 of the UDC.

**Lot, reversed corner** - A corner lot, the rear of which abuts upon the side of another lot whether across an alley or not.

**Lot width** - The width of a lot at the front setback line.

Low density residential –

**Lumens** – A unit used to measure the actual amount of visible light which is produced by a lamp as specified by the manufacturer. A unit of measure of the quantity of light that falls on an area of one square foot every point of which is one foot from the source of one candela. A light source of one candela emits a total of 12.57 lumens.

**Manufactured home or manufactured housing** - A HUD-code manufactured home. For purposes of the floodplain ordinance, a “manufactured home” means a structure transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. The term “manufactured home” does not include a “recreational vehicle”.

**Mass** - The size, height, symmetry and overall proportion of a structure in relation to the original style and/or to surrounding structures.

**Monument sign** – A freestanding sign supported primarily by an internal framework or integrated into landscaping or other solid structural features other than support poles.

**New construction** - For the purpose of determining insurance rates, structures for which the “start of construction” commenced on or after the effective date of an initial FIRM or after December 31, 1974, whichever is later, and includes any subsequent improvements to such structures. For floodplain management purposes, “new construction” means structures for which the “start of construction” commenced on or after the effective date of a floodplain management regulation adopted by a community and includes any subsequent improvements to such structures.

**New development** - Any new demand which increases the number of equivalent dwelling units including, but not limited to, the subdivision and/or resubdivision of land; the construction, reconstruction, redevelopment, conversion, structural alteration, relocation, or enlargement of any structure; or any use or extension of the use of land, any of which increases the number of equivalent dwelling units. [Commentary: The subdivision and/or resubdivision of land, the construction, reconstruction, redevelopment, conversion, structural alteration, relocation, or enlargement of any structure; or any use or extension of the use of land which does not increase the number of equivalent dwelling units is not considered new development and is not subject to payment of additional impact fees. However, the previous applicable impact fees must have been paid.]

**Nonconforming structure** - Any existing structure which was erected according to all applicable city ordinances at the time, but which does not now comply with all the regulations applicable to the district in which the structure is located.

**Ordinary repair and maintenance (2)** - Any work, the purpose and effect of which is to correct any deterioration or decay of or damage to a building, object or structure or any part thereof and to restore the same, as nearly as may be practicable, to its condition prior to such deterioration, decay or damage, using the same materials or those materials available which are as close as possible to the original.

**Ornamental cornices** - A horizontal molded projection that crowns or completes a building or wall.

**Overlay district** - A zoning district established by this chapter prescribing regulations to be applied to a site in combination with a base zoning district.

**Permit** - A license, certificate, approval, registration, consent, permit, or other form of authorization required by law, rule, regulation, order, or ordinance that a person must obtain to perform an action or initiate, continue, or complete a project for which the permit is sought. (Source: VTCA Local Government Code § 245.001). A “development permit” includes any of the following: a subdivision plat, a conditional use permit, a building permit, or a certificate of occupancy. A “development permit” does not include a certification of completeness, a letter of certification, an amendment to the text of this chapter, or a rezoning. A determination of property status, including but not limited to, utility availability, zoning, rights under Article VII of this chapter, etc., is not a permit.

**Permit rights** - The right of a property owner or developer to complete a project under the rules, regulations and ordinances in effect at the time the project was initiated through a permit as herein defined. When permit rights exist for property within the boundaries of a project, ordinances passed after the date the project is initiated shall not apply to the project except as specifically provided within this section.

**Pervious pavement** - A pavement system with traditional strength characteristics, but which allows rainfall to percolate through it rather than running off. A permeable pavement system utilizes either porous asphalt, pervious concrete, or plastic pavers interlaid in a running bond pattern and either pinned or interlocked in place. Porous asphalt consists of an open graded course aggregate held together by asphalt with sufficient interconnected voids to provide a high rate of permeability. Pervious concrete is a discontinuous mixture of Portland cement, coarse aggregate, admixtures, and water which allow for passage of runoff and air. Examples of permeable pavement systems include Grasspave2®, Gravelpave2®, Turfstone®, and UNI Eco-stone®. (See Watershed Management Institute, Inc. and U.S. Environmental Protection Agency, Office of Water, Operation, Maintenance & Management of Stormwater Management (Aug. 1997), at 2-32; Booth & Leavitt, Field Evaluation of Permeable Pavement Systems for Improved Stormwater Management, 65 J. Am. Planning Ass'n 314 (Summer 1999), at 314-325.

**Pitch** - The slope of a roof as determined by the vertical rise in inches for every horizontal twelve inch (12") length (called the "run"). Pitch is expressed with the rise mentioned first and the run mentioned second. For instance, a roof with a four inch (4") rise for every horizontal foot has a 4:12 pitch.

**Pedestrian walkway** – Any sidewalk or walkway that is intended and suitable for pedestrian use. Any paved public or private route intended for pedestrian use, including a bicycle/pedestrian path regardless of use by other transportation.

**Porch** - A roofed area, which may be glazed or screened, attached to or part of and with direct access to or from a structure and usually located on the front or side of the structure.

**Principal building or principal structure** - A building or structure or, where the context so indicates, a group of buildings or structures, in which the principal use of a lot or parcel is conducted. This shall include any buildings which are attached to the principal structure by a covered structure.

**Principal dwelling** - A dwelling unit which constitutes the principal building or principal structure on a lot or parcel.

**Principal elevation** – The primary front façade area of the main structure; usually fronting or facing the public right-of-way (ROW).

**Principal structure** - See Principal building or principal structure.

**Property owner** - The person, entity, corporation, or partnership in whose name a certificate of occupancy issued, or the current owner of the property if a certificate of occupancy is no longer valid, or, if the current owner cannot be contacted after due diligence, the lessee/occupant of the property who is in apparent control of such property.

**(\*) Proportion:** The relationship of the size, shape, and location of a building element to all the other building elements.

**Proposed development** - The uses, structures, buildings, and/or other development proposed by an application for development approval.

**Public right-of-way** - A strip of land acquired by reservation, dedication, forced dedication, prescription, or condemnation and used or intended to be used, wholly or in part, as a public street, alley, walkway, drain or public utility line.

**Public right-of-way (2)** - An area or strip of land, either public or private, occupied or intended to be occupied by a street, walkway, railroad, utility line, drainage channel, or other similar uses.

**Quadruplexes** - See Dwelling four-family.

**Reconstruction** - The act or process of reassembling, reproducing, or replacing by new construction, the form, detail, and appearance of property and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or by reuse of original materials.

**Rehabilitation** - The act or process of returning a building, object, site, or structure to a state of utility through repair, remodeling, or alteration that makes possible an efficient contemporary use while preserving those portions or features of the building, object, site, or structure that are significant to its historical, architectural, and cultural values.

**Relocation** - Any change of the location of a building, object or structure in its present setting or to another setting.

**Residential development** - All areas zoned as "R-3", "R-4", "R-5", "R-6", "R-20", "RE", "RM-4", "RM-5", "RM-6", "MF-24", "MF-33", "MF-40" or "MF-50", or otherwise zoned or devoted primarily to residential use, and shall include all other areas not zoned or used primarily for commercial or industrial use.

**Residential district or residential zoning district** - Any of the following zoning districts: "R-3", "R-4", "R-5", "R-6", "R-20", "RE", "RM-4", "RM-5", "RM-6", "MF-18", "MF-24", "MF-33", "MF-40 or "MF-50".

**Residential driveway approach** - A driveway which provides access to property on which a single-family residence, duplex, or multifamily building containing five or fewer dwelling units is located.

**Residential property** - A building, site, or structure whose use after rehabilitation or restoration (for ad valorem tax exemption) will be for residential uses, i.e., for single family, duplex, three, or four family dwelling or more dwellings for the purposes of this zoning overlay plan only.

**Residential streets** - Street routes that provide access to local property owners and which connect property to the major thoroughfare or other collector street networks.

**Residential structure** - A single-family home, apartment house, townhouse, condominium or any type of dwelling unit.

**Right-of-way** - Property that is publicly owned or upon which a governmental entity has an express or implied property interest (e.g. fee title, easement, etc.) held for a public purpose. Examples of such public purpose include, by way of example and not limitation, a highway, a street, sidewalks, drainage facilities, sewerage and water facilities.

**Screen** - Vegetation, fence, wall, berm or a combination of any or all of these which partially or completely blocks the view of and provides spatial separation of a portion or all of a site from an adjacent property or right-of-way.

**Setback** - A line within a lot parallel to and measured from a corresponding lot line, establishing the minimum required yard and governing the placement of structures and uses on the lot.

**Side gabled** – locates the front door on the non-gabled façade.

**Side yard** - An area extending the depth of a lot from the front yard to the rear yard between the side lot line and the nearest principal structure.

**Sidewalk** - The portion of a municipal street between the curb lines or lateral lines of a roadway and the adjacent property lines that is improved and designed for or is ordinarily used for pedestrian travel. [Source: VTCA Transportation Code § 316.001]

**Single-family dwelling** - See Dwelling, one-family.

**Single-family residential development** - A development consisting of a lot or lots, containing only one dwelling unit. The dwelling unit may be detached or attached, townhouse, small lot, home, manufactured home, or mobile home.

**Site** - The location of a significant event, a prehistoric or historic occupation or activity, or a building, structure, or cluster, whether standing, ruined, or vanished, where the location itself maintains historical, architectural, archaeological, or cultural value regardless of the value of any existing structure.

**Story** - That part of a building between the surface of a floor and the ceiling immediately above.

**\*Street-facing façade** - That portion or portions of a wall of any permanent structure that is visible from and oriented parallel to a dedicated public right of way. For a structure that is not oriented parallel to the right of way, the street wall façade shall include all of the facades visible from the right of way and oriented at an angle greater than zero degrees but less than 60 degrees to the right of way.

**Streetscape** - The general appearance of a block or group of blocks with respect to the structures, setbacks from public rights-of-way, open space and the number and proportion of trees and other vegetation.

**Structure** - A walled and roofed building, including a gas or liquid storage tank, which is principally above ground, as well as a manufactured home.

**Substantial improvement** - Any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before "start of construction" of the improvement. This includes structures which have incurred "repetitive loss" or "substantial damage", regardless of the actual repair work performed. The term does not, however, include either: (1) Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary conditions or (2) Any alteration of a "historic structure," provided that the alteration will not preclude the structure's continued designation as a "historic structure."

**Subject property** - The property subject to an application for development approval.

**Substantial rehabilitation** - Certified improvements to a historic building in which the cost of the project is equal to or greater than fifty (50) percent of the appraised pre-rehabilitation improvement value of the property and which constitutes major work on enhancing existing mechanical or structural systems that preserve the historical integrity, while extending the life of the building.

**Stoop** – A small open porch or platform with steps leading up to the entrance of a building and may extend up to 6 feet from the front façade.

**Transparency percentage** – refers to the amount of surface area of a porch enclosure (walls or vertical surfaces) that must be constructed of transparent materials compared to the total surface area of the enclosure.

**Transparent** - Capable of transmitting light in a manner which permits a person standing outside of a building to view shapes, tones, and objects inside a building. A tinted window is considered "transparent" if it meets the requirements recited herein.

**Use** - The purpose for which land or structures thereon is designed, arranged or intended to be occupied or used, or for which it is occupied, maintained, rented or leased.

**Vertical/Height** – See Building height

**Window** - An opening constructed in a wall and which admits light or air to an enclosure, is framed and spanned with glass, and which may be mounted to permit opening and closing.

**Yard** - An area on a lot between the lot line and the nearest principal structure, unoccupied and unobstructed by any portion of a structure from the ground upward, except as otherwise provided in the UDC.



**REAL ESTATE**  
*Building News*

**San Antonio Express**

**CLASSIFIED**  
*Want Ads*

Section C

SUNDAY MORNING, NOVEMBER 20, 1938

Section C

**SURVEY OF VALLEY  
REVEALS ACTIVE  
PROGRAM OF WORK**

**Irrigation Projects Represent \$890,000 of Total Home Construction \$358,450**

RENOUVILLE, Tex., Nov. 18.—More than \$1,100,000 worth of construction work of all kinds has been started in the Lower Rio Grande Valley during the past two months, a survey just completed here shows.

Initiation work in the Valley amounts for \$118,000 of the total, the amount being the total of fee bids on state work of work on the Texas Valley County irrigation project, which was opened early in September. Additional bid work amounted to \$120,000.

This district secured a loan and grant from the Public Works Administration totaling \$4,022,000 and work has been under way on the irrigation project, based on the bid in the world, for over a year. About 75,000 acres of land is to be brought under irrigation.

The San Antonio irrigation district, Bexar County Water Improvement District No. 2, is making a bid of \$1,100,000 from the Reconstruction Finance Corporation to finance construction of a storage reservoir on the San Antonio irrigation system. The storage reservoir contemplated in San Diego will cover 131 acres and will hold sufficient water to irrigate about 5,000 acres, according to F. W. A. Johnson, manager of the district. The cost of the proposed project is not included in the bidding total for the past two months.

The intensive effort at Henderson, Mich., and Canyon, Tex., districts of the Lower Rio Grande Valley amount to approximately \$1,070,000 of the total bid work representing during the period.

A \$1,200,000 Public Works Administration project will be underway immediately in Bexar County, providing for improvements at F. W. A. Johnson's project. The project also includes a \$1,100,000 drainage project in the area. Work has also started in Bexar County on the \$1,200,000 project, and a \$1,000,000 project for the city. The \$1,000,000 project is for the city and has included the city hall and has

**Three of San Antonio's Recently Built Homes**



Shown at the upper left is the complete General Electric Home being opened Sunday by L. E. Fite & Company at 143 Thomsen Jefferson Drive in Jefferson Manor. It is a three-bedroom house and features the latest in electrical appliances.

The recently completed home of Mr. and Mrs. E. C. Spivey at 214 Canterbury in the subdivision taken over by the Arthur E. Blair Company in Terrell Hills is shown at the upper right. Downstairs features of this colonial in the attractive and useful entrance hall which has two closets and the large screened porch in the rear. It is a three-bedroom home and has a large screened sleeping porch upstairs. Mrs. Spivey said the eight spacious closets in the home is among the double features of the home.

In the lower photo is another home in Terrell Hills which is being constructed by Frank Robertson, general contractor, for Mr. and Mrs. Chester B. Kilpatrick. It is of modern type architecture and is situated at Monticello Drive and Gateway Court. It has eight rooms, including an original shaped breakfast room, and there is both a front and rear staircase in the two-story home. There are terraces on the sides and on three sides of the kitchen are built-in cabinets. In the breakfast room is a cabinet constructed completely of mirrored glass. Every room has either a north- or east exposure, or both. Broad casement windows were used throughout and the stone exterior blends with the varied colored roof tile. (Features of the Terrell Hills home are under photos.)



**CLASSES IN REAL ESTATE TRAINING TO START TUESDAY**

**H. C. Kilpatrick to be in Charge of Courses at Technical Night School**

A course of instruction covering the most phases of the real estate business will be inaugurated Tuesday evening at San Antonio Technical and Technical School on Main Avenue, according to a joint announcement from C. E. Trevas, principal of the evening school division, and the San Antonio Real Estate Board, the education committee of which he developed the course.

The first class will meet on Tuesday and Thursday evenings at 7:30 in room 214 of the Liberty Building at Main Street. H. C. Kilpatrick, executive secretary of the local real estate association, has been selected to teach the real estate class. He will be aided by a number of past presidents representing specialized branches of the real estate business as well as local attorneys and title men.

**Two-Floor Scaffolds**

Assisted by the vocational division of the State Department of Education, the public course will be open to anyone engaged in some phase of the real estate business, either as broker, salesman, insurance or mortgage man. The class is scheduled to last 12 two-hour sessions.

The outline of the course covers given the following as the purpose of the course: "To train real estate brokers and salesmen in the better to discharge the obligations which the law imposed on them as brokers and salesmen; to learn the procedure in the sale of real estate; to serve as a guide in the various phases of the real estate business, whereby those entering the class will have an opportunity to meet themselves by experienced practice and experience; to learn the procedure of good real estate investment; and to enhance their ability in their present positions."

**Book Study**

Among the books to be found in the subject matter of the real estate course are real estate as a business, real estate, title insurance, and the law of the real estate. The course is a practical one, emphasizing a study of the transactions of San Antonio real estate, the importance of professional practice, education of governmental agencies, and the importance of the real estate business and its practice.

**STEEL FRAMEWORK USED ON COLONIAL**

**Bexar County Showing New Construction Trend in Jefferson Manor House**

Remembering the new trend for home building, the steel frame home now under construction at 214 Canterbury Drive in Jefferson Manor is at its most interesting feature. It is the first steel frame house in the area, and is being built by Frank Robertson, general contractor, for Mr. and Mrs. Chester B. Kilpatrick. The house is a two-story colonial in the attractive and useful entrance hall which has two closets and the large screened porch in the rear. It is a three-bedroom home and has a large screened sleeping porch upstairs. Mrs. Spivey said the eight spacious closets in the home is among the double features of the home.

**Fite Opens General Electric Home Today**

L. E. Fite & Company will open a complete General Electric Home Sunday at 143 Thomsen Jefferson Drive in Jefferson Manor, just one block west of the high school. The house is a three-bedroom home and features the latest in electrical appliances.

The house has been framed and completed furnished by John Fite. It will be open for two to three weeks in the way of contract and installment.

The house has been framed and completed furnished by John Fite. It will be open for two to three weeks in the way of contract and installment.

The house has been framed and completed furnished by John Fite. It will be open for two to three weeks in the way of contract and installment.

**HOUSEHOLD REALTY COMPANY IS SOLD**

John E. Deller and M. 'Big' Wood have purchased the Household Realty Company and the company will continue to operate as before.

**APARTMENT HOUSE TO BE OPEN TODAY**

A four-unit apartment house built and owned by Mrs. J. J. Deller at the corner of Broadway and South Avenue will be open for inspection today.

**Formal Opening of Subdivision Today**

The sale of Terrell Hills, subdivision at Terrell Hills, has just been formally opened by the Arthur E. Blair Company, which has the exclusive contract to sell the property.

**APPENDIX C**

**NEIGHBORHOOD MAPS**

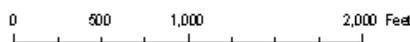
## Appendix C Neighborhood & Building Characteristics Maps





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# Jefferson NCD Adopted Land Use City of San Antonio





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# Jefferson NCD

## Age of Structures

### City of San Antonio



0 500 1,000 2,000 Feet

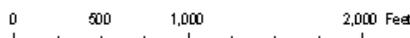


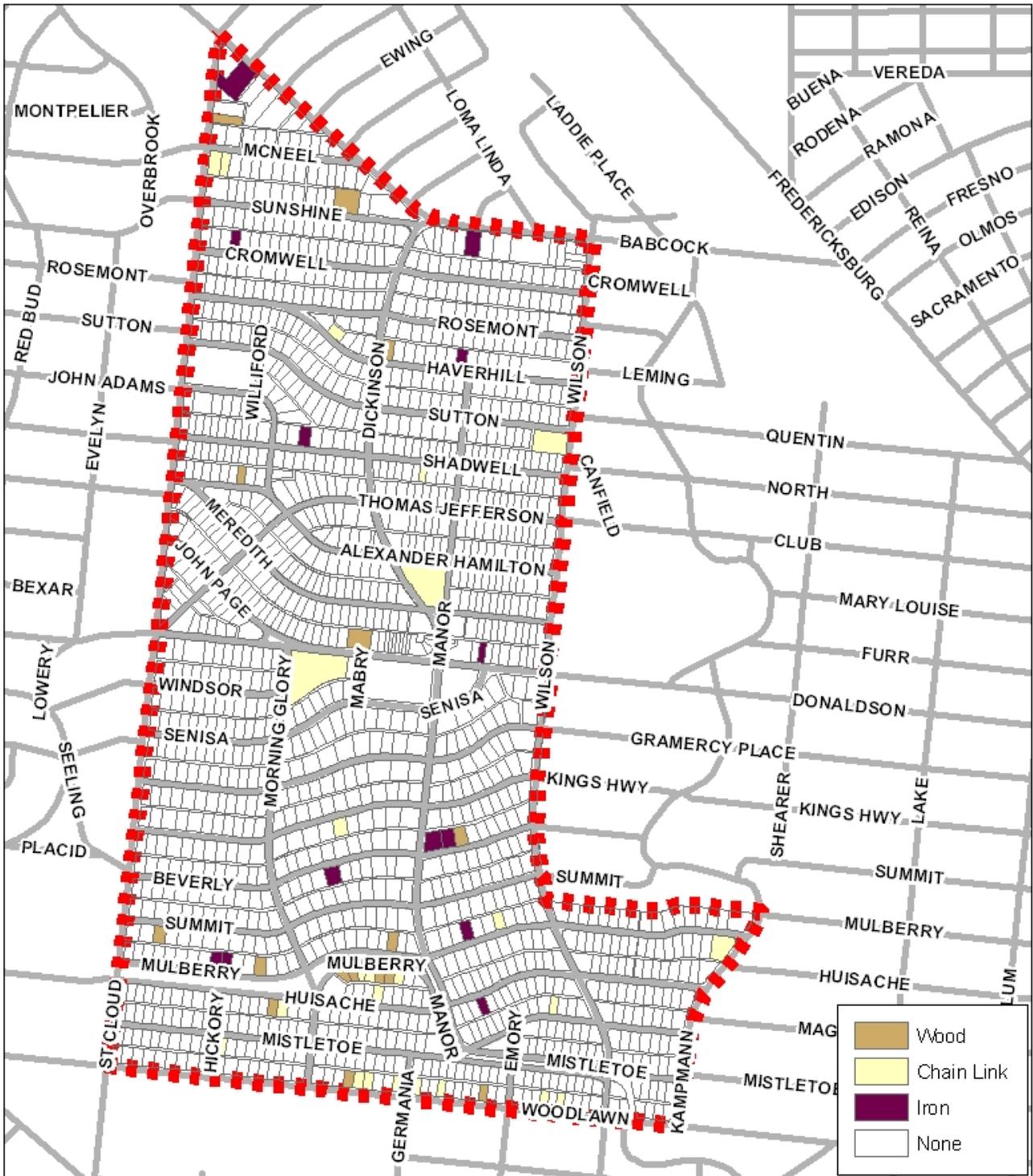




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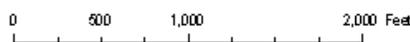
# Jefferson NCD Driveway Configuration City of San Antonio





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# Jefferson NCD Fencing City of San Antonio



City of San Antonio  
Planning & Development  
Services & Department

501 S. Alamo  
San Antonio, TX 78205



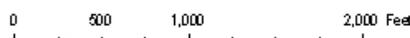



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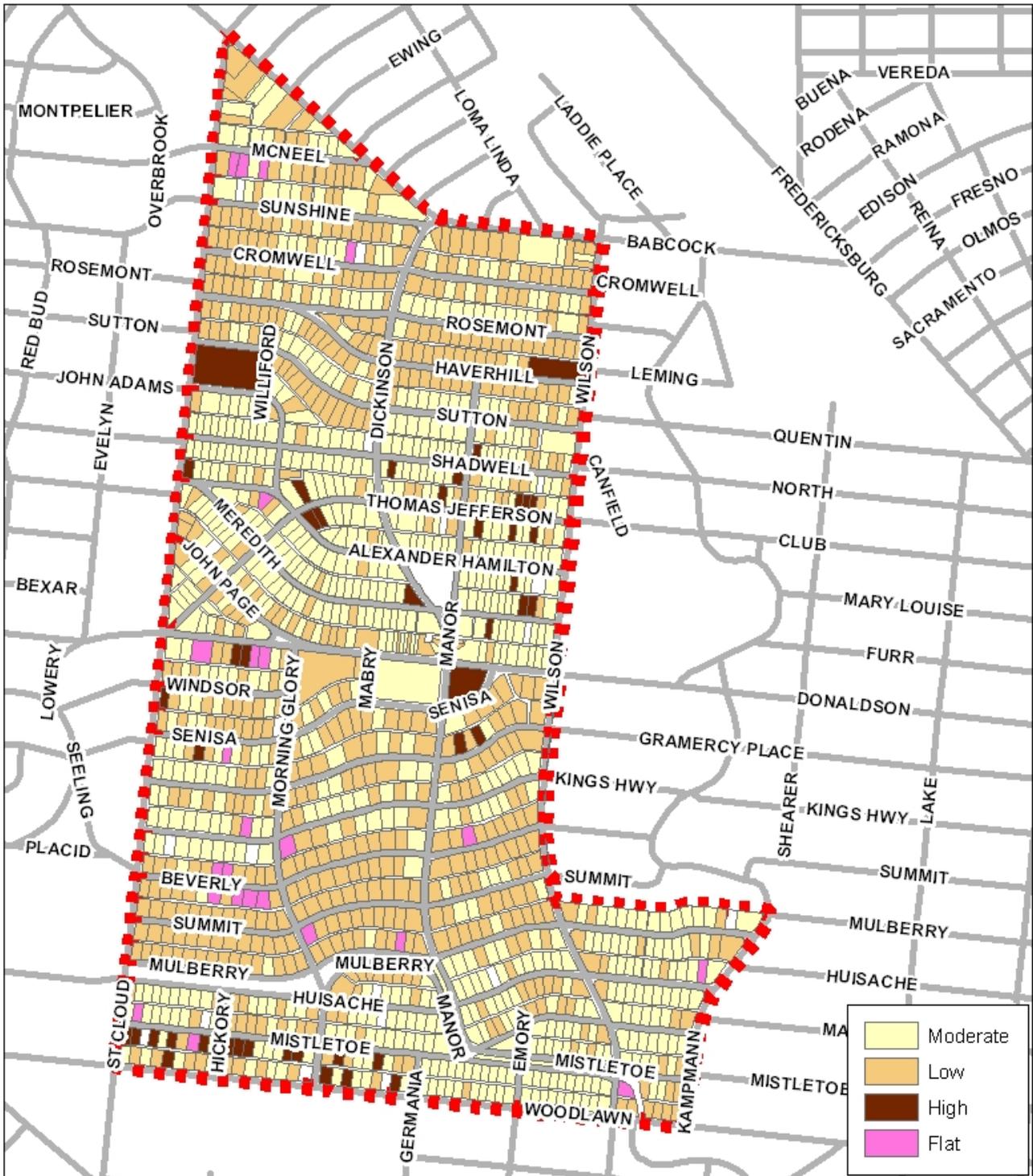
# Jefferson NCD

## Front Walk

### City of San Antonio





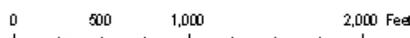


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# Jefferson NCD

## Roof Pitch

### City of San Antonio







# **APPENDIX D**

## **LISTING OF PROPERTY OWNERS**

**Section 35-335(d)(2)(c)** of the NCD Enabling Ordinance requires a listing of all property owners within the boundary area.

PROPERTY OWNER		PROPERTY ADDRESS	
HERNANDEZ, ROLDAND R & DE ETT	102	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
GUERRERO, MICHAEL A & MONICA	109	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
RODRIGUEZ, LEONEL A	114	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
HERNANDEZ, DAVID & MARY L	115	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
GARCIA, JUAN & TERESA	116	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
VILLARREAL, MANUEL & SYLVIA	119	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
QUINTERO, RAUL	120	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
DAVIS, ANITA FISCHER	121	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
AROCHA, MARGARITA G	124	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
RODRIGUEZ, DAVID A & GRACE G	129	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
GUZMAN, JOSE D & FRANCES M	130	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MENCHACA, EDWARD	133	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
ELIZONDO, ROBERTO A & LAURA	134	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
HARMON, LISA	137	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MCCLURE, ROBERT A II	138	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
LITOFISKY, ANA & JACK J	142	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
ESCOTO, JOE & ANGELA P	143	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MOLINA, JEANNETTE R	146	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
ESQUIVEL, JESSE	148	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
RICHARD, RITA TURNER	149	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MUNIZ, ROBERTO H & ROSEMARY M	154	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
TOCCI, CATHRYN & LOUISE TOCCI KOEBKE	155	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
SOTOMAYOR, GAIL M	201	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
VARA, DOMINGO & ROSALINDA G	207	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
ROBBINS, ROY E & MARGARET G	209	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
GUTIERREZ, ALBERT M	215	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
ESCURIEUX, GEORGE E & JALON	219	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
STEIGER, CARL W	225	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
JOHNSON, KERBY	229	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MARTINEZ, OLGA BAEZ	301	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MARTINEZ, OLGA BAEZ	301	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
CANTU, ELVIRA V	302	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
JASSO, RICARDO & OLGA A	308	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
HORGAN, JOHN & ELISE F K	310	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
SCHNEIDER, MAX F JR	311	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MORAN, YOLANDA	317	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
SULLENTROP, FRANCES	318	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
VASQUEZ, RUBEN M JR & ORALIA	323	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MURKEN, ROBYN A	326	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
SIGMON, LESLIE S	330	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
RIVAS, CHARLES E	333	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
FARMER, TERESA G	338	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MENDOZA, BERTHA E	342	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
RIVAS, CHARLES E	343	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
CAMPOS, ANNIE L & MARY LOIS	348	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
CASTILLO, JUAN J & THERESA F	352	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MOORE, PATRICK T & PATRICIA D	360	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
ROMERO, ROLAND & LINDA C	364	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
SAUCEDO, ERNESTO & ORALIA M	401	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
MENDEZ, ELENA	402	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
KORN, JEAN	405	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228
OVIEDO, HENRY & BASILIA A	409	ALEXANDER HAMILTON	SAN ANTONIO, TX 78228

PROPERTY OWNER	PROPERTY ADDRESS
WOOLSEY, HOWARD H & VIOLET B	410 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
ESPINOZA, PATRICIO & PATRICIA B	416 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
RUTLEDGE, ELNORA L	417 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
LEANDRO, MARIA DEL SOCORRO	422 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
LICEA, ISABEL C	423 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
AGUILAR, REUBEN G	426 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
MILLER, PAUL E & MAYELA Y	429 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
FRANKE, TAMMY L & JENNIFER J FISCHER	430 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
KOCHER, FRANCES M	435 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
MOCZYGEMBA, VIRGINIA MUNOZ	439 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
EVANS, JAMES R & JESSIE J	442 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
REYNA, MARY GENE	445 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
BENAVIDES, DAMIEN & ROSITA M	446 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
COLLAZO, MARTIN & ALEJANDRINA ZUNIGA	447 ALEXANDER HAMILTON SAN ANTONIO, TX 78228
VILLARREAL, HENRY E JR & ANA M	424 BABCOCK SAN ANTONIO, TX 78228
LOZANO, ALEJANDRO	430 BABCOCK SAN ANTONIO, TX 78228
MEANS, ADAM & ASHLEY	526 BABCOCK SAN ANTONIO, TX 78228
LUNA, REUBEN G & HORTENCA	530 BABCOCK SAN ANTONIO, TX 78228
OLIVARES, ERNESTO G & HERMELINDA L	534 BABCOCK SAN ANTONIO, TX 78228
GARCIA, CONCEPCION G	548 BABCOCK SAN ANTONIO, TX 78228
CORREA, JOSE A & MARIA V	552 BABCOCK SAN ANTONIO, TX 78228
CORREA, JOSE A & MARIA V	552 BABCOCK SAN ANTONIO, TX 78228
VILLARREAL, JOHNNY J & CRISELDA	556 BABCOCK SAN ANTONIO, TX 78228
BROCK, NORMAN H JR	560 BABCOCK SAN ANTONIO, TX 78228
MANDER CORP	302 BABCOCK SAN ANTONIO, TX 78228
MANDER CORP	306 BABCOCK SAN ANTONIO, TX 78228
MANDER CORP	310 BABCOCK SAN ANTONIO, TX 78228
MANDER CORP	314 BABCOCK SAN ANTONIO, TX 78228
ALLEN, FRANK P & RUTH DEAN ALLEN	320 BABCOCK SAN ANTONIO, TX 78228
MARTINEZ, ROGELIO G & SUSAN	350 BABCOCK SAN ANTONIO, TX 78228
RAMIREZ, RAUL C JR & LETICIA	354 BABCOCK SAN ANTONIO, TX 78228
SANDIFER, WALTER E & ANDREA	362 BABCOCK SAN ANTONIO, TX 78228
TREVINO, JIMMIE JR & ANA M	366 BABCOCK SAN ANTONIO, TX 78228
KOCH, AGNES T	370 BABCOCK SAN ANTONIO, TX 78228
FLORES, EDWARD THEO	372 BABCOCK SAN ANTONIO, TX 78228
BRAGG, ALPHA V	374 BABCOCK SAN ANTONIO, TX 78228
PADGETT, SHELTON E & MARIE P	414 BABCOCK SAN ANTONIO, TX 78228
ZAMARRIPA, PETER & ANNIE	202 BEVERLY SAN ANTONIO, TX 78228
HERRERA, GERARDO & ELIZABETH	203 BEVERLY SAN ANTONIO, TX 78228
CANTU, ROBERT & ALICE	207 BEVERLY SAN ANTONIO, TX 78228
CARDENAS, OLIVE J	211 BEVERLY SAN ANTONIO, TX 78228
ARIAS, NICOLAS R & VIVIAN R	212 BEVERLY SAN ANTONIO, TX 78228
DANIEL, VALENTIN JR & ESTHER S ETAL	215 BEVERLY SAN ANTONIO, TX 78228
WHITE-VOLK, ELLEN	218 BEVERLY SAN ANTONIO, TX 78228
DANIEL, VALENTIN R JR & ESTHER S	219 BEVERLY SAN ANTONIO, TX 78228
MENDOZA, ARMANDINA G	222 BEVERLY SAN ANTONIO, TX 78228
BERTONE, PETER J & OFELIA	223 BEVERLY SAN ANTONIO, TX 78228
GOODSPEED, DARWIN G	226 BEVERLY SAN ANTONIO, TX 78228
SMITH, WILLIE I	228 BEVERLY SAN ANTONIO, TX 78228
ROCHA, STEVE D & ESMERALDA	229 BEVERLY SAN ANTONIO, TX 78228
WATKINS, EDISON JR & MARIA T	230 BEVERLY SAN ANTONIO, TX 78228
VILLALON, YOLANDA	234 BEVERLY SAN ANTONIO, TX 78228
RIVERA, ERNEST G & ZULEMA G	235 BEVERLY SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
GARCIA, JOSE & BLANCA ROMO	238	BEVERLY	SAN ANTONIO, TX 78228
SHEFFIELD, LOUIS M SR & HELENE	243	BEVERLY	SAN ANTONIO, TX 78228
QUBROSI, KHALIL F ET AL L/E	302	BEVERLY	SAN ANTONIO, TX 78228
GARCIA, MARIA DEL SOCORRO R	303	BEVERLY	SAN ANTONIO, TX 78228
FERGUSON, ROBERT F & ELEANOR	307	BEVERLY	SAN ANTONIO, TX 78228
GARCIA, ROY & PATRICIA A	312	BEVERLY	SAN ANTONIO, TX 78228
MCCLURE, JAY C & MARIA	314	BEVERLY	SAN ANTONIO, TX 78228
SMITH, C P & WINIFRED	315	BEVERLY	SAN ANTONIO, TX 78228
PHALEN, NORBERT A & ROSIE	318	BEVERLY	SAN ANTONIO, TX 78228
JEWETT, EDWARD C & DORIS D	319	BEVERLY	SAN ANTONIO, TX 78228
BURGER, PATRICIA R TRST	322	BEVERLY	SAN ANTONIO, TX 78228
RUSH, HANNELORE T	323	BEVERLY	SAN ANTONIO, TX 78228
UMINO, PHILIP W & MARIE	326	BEVERLY	SAN ANTONIO, TX 78228
SALAZAR, LUCAS & AURORA	327	BEVERLY	SAN ANTONIO, TX 78228
GARCIA, GENARO & GUILLERMINA	330	BEVERLY	SAN ANTONIO, TX 78228
MONTES, BERTHA	338	BEVERLY	SAN ANTONIO, TX 78228
MORENO, CESAR	339	BEVERLY	SAN ANTONIO, TX 78228
LEWIS, CURTIS G & NANCY S	342	BEVERLY	SAN ANTONIO, TX 78228
ESPINOSA, FRANK H & MARIA J	343	BEVERLY	SAN ANTONIO, TX 78228
ATIEE, MARY J & PATRICIA ATIEE	345	BEVERLY	SAN ANTONIO, TX 78228
GARCIA, ARMANDO & ADRIANA F	346	BEVERLY	SAN ANTONIO, TX 78228
BALDERRAMA, ALICE	350	BEVERLY	SAN ANTONIO, TX 78228
CAMPOS, SANDRA A & SYLVESTER JR	351	BEVERLY	SAN ANTONIO, TX 78228
TORRES, WILLIAM & THERESA	359	BEVERLY	SAN ANTONIO, TX 78228
GARCIA, ERNESTO G & ESTHER	401	BEVERLY	SAN ANTONIO, TX 78228
VILLARREAL, LAURA P & RICHARD C	402	BEVERLY	SAN ANTONIO, TX 78228
GARZA, REYMUNDO & NORMA	405	BEVERLY	SAN ANTONIO, TX 78228
OLIVARRI, MANUEL PEREZ	406	BEVERLY	SAN ANTONIO, TX 78228
WOMACK, BETTY L	411	BEVERLY	SAN ANTONIO, TX 78228
ORTEGA, IGNACIO & TERESA	414	BEVERLY	SAN ANTONIO, TX 78228
JASSO, DARIO PAEZ & ETAL	417	BEVERLY	SAN ANTONIO, TX 78228
ACOSTA, SANTIAGO & EMMA	418	BEVERLY	SAN ANTONIO, TX 78228
RAMOS, FRANCISCO & MAGALI V	421	BEVERLY	SAN ANTONIO, TX 78228
MUNIZ, JOE A	422	BEVERLY	SAN ANTONIO, TX 78228
WHITMAN, LILY R	424	BEVERLY	SAN ANTONIO, TX 78228
ZEPEDA, WILLIAM R & ALMA G	425	BEVERLY	SAN ANTONIO, TX 78228
FEDORICK, LILY R	434	BEVERLY	SAN ANTONIO, TX 78228
MENDOZA, GUILLERMO & CAROLINA	435	BEVERLY	SAN ANTONIO, TX 78228
MANN, GUS	439	BEVERLY	SAN ANTONIO, TX 78228
RODRIGUEZ, MARIA F	440	BEVERLY	SAN ANTONIO, TX 78228
HUERTA, JUAN ROGELIO & JULIA R	443	BEVERLY	SAN ANTONIO, TX 78228
DENNIS, CHRISTOPHER P	444	BEVERLY	SAN ANTONIO, TX 78228
LIKNESS, CRAIG S AND GEORGE H THOMPSON	447	BEVERLY	SAN ANTONIO, TX 78228
VALDEZ, HILDA H	451	BEVERLY	SAN ANTONIO, TX 78228
AYALA, GLORIA L	452	BEVERLY	SAN ANTONIO, TX 78228
CAMACHO, RACHEL M	456	BEVERLY	SAN ANTONIO, TX 78228
DELEON, FLOYD & JANIE	459	BEVERLY	SAN ANTONIO, TX 78228
CURTIS, RICHARD L & FRANCES	460	BEVERLY	SAN ANTONIO, TX 78228
MORENO, ELIDA H	106	CROMWELL	SAN ANTONIO, TX 78228
WELLS, GLADYS E	107	CROMWELL	SAN ANTONIO, TX 78228
GARCIA, HORTENCE G	110	CROMWELL	SAN ANTONIO, TX 78228
CONNER, ELIZABETH ANN	111	CROMWELL	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS		
GREEN, JO ANN & DWAYNE SORRELL	114	CROMWELL	SAN ANTONIO, TX	78228
GIESEN, LORI M & BERNARD W III	115	CROMWELL	SAN ANTONIO, TX	78228
PADILLA, RICHARD R & PATRICIA A	118	CROMWELL	SAN ANTONIO, TX	78228
FLORES, ROBERT & PATRICIA R	119	CROMWELL	SAN ANTONIO, TX	78228
SANTOS, SYLVIA ANN	122	CROMWELL	SAN ANTONIO, TX	78228
PEARSON, ANTHONY & MELISSA	123	CROMWELL	SAN ANTONIO, TX	78228
MARTINEZ, VINCENT R & LILLIE Z	126	CROMWELL	SAN ANTONIO, TX	78228
LAFRENIERE, EDMUND E & ELAINE E	127	CROMWELL	SAN ANTONIO, TX	78228
CARRILLO, GILBERT & MERCEDES	130	CROMWELL	SAN ANTONIO, TX	78228
SAENZ, HECTOR X & JEANNETTE	131	CROMWELL	SAN ANTONIO, TX	78228
ARISMENDEZ, AUGUSTIN & ROSAL	134	CROMWELL	SAN ANTONIO, TX	78228
BELTRAN, RICHARD H & IRENE O GAMEZ	135	CROMWELL	SAN ANTONIO, TX	78228
GARCIA, ALICIA ORTIZ	138	CROMWELL	SAN ANTONIO, TX	78228
MOORE, NELLIE LEE	139	CROMWELL	SAN ANTONIO, TX	78228
SANTANA, GILBERT & HOPE C	142	CROMWELL	SAN ANTONIO, TX	78228
REX, LORETTA ANN	143	CROMWELL	SAN ANTONIO, TX	78228
GOFFINETT, MILDRED	146	CROMWELL	SAN ANTONIO, TX	78228
GARCIA, GLORIA	147	CROMWELL	SAN ANTONIO, TX	78228
CARNEIRO, IRIS C	150	CROMWELL	SAN ANTONIO, TX	78228
BURRIS, VERONICA A	151	CROMWELL	SAN ANTONIO, TX	78228
DOWD, ROBERT C & ELOISE S	154	CROMWELL	SAN ANTONIO, TX	78228
ROSCHENI, EMORY A & BUENA T	155	CROMWELL	SAN ANTONIO, TX	78228
DOUGHERTY, MILDRED S	158	CROMWELL	SAN ANTONIO, TX	78228
ELIZONDO, DAVID P & GRISELDA ARTEAGA	159	CROMWELL	SAN ANTONIO, TX	78228
NELSON, TOMMY & JUDITH K	162	CROMWELL	SAN ANTONIO, TX	78228
GAVIA, DOMINGO H & SUSIE G	163	CROMWELL	SAN ANTONIO, TX	78228
LINCOLN, JAMES P & THELMA B	166	CROMWELL	SAN ANTONIO, TX	78228
VASQUEZ, EVARISTO & ELVA	167	CROMWELL	SAN ANTONIO, TX	78228
BERNARD, PAULA K	202	CROMWELL	SAN ANTONIO, TX	78228
ROSE, VERONICA L	203	CROMWELL	SAN ANTONIO, TX	78228
JONES, BETTY LOUISE	206	CROMWELL	SAN ANTONIO, TX	78228
TOUDOUZE, CECIL J	207	CROMWELL	SAN ANTONIO, TX	78228
DEHOYOS, LEONCIO & NOEMI M	210	CROMWELL	SAN ANTONIO, TX	78228
KRAMER, LAWRENCE H & M M	211	CROMWELL	SAN ANTONIO, TX	78228
GADDY, MARY PAT	215	CROMWELL	SAN ANTONIO, TX	78228
VALDEZ, DANIEL V & MAGDALENA	216	CROMWELL	SAN ANTONIO, TX	78228
RENDON, MARGARET & ALICE	219	CROMWELL	SAN ANTONIO, TX	78228
HERNANDEZ, DOLORES	220	CROMWELL	SAN ANTONIO, TX	78228
CASTILLO, H E & AMELIA G	222	CROMWELL	SAN ANTONIO, TX	78228
LOZANO, FRED A & REINA	225	CROMWELL	SAN ANTONIO, TX	78228
NEGRON, BENJAMIN JR & MARIE	226	CROMWELL	SAN ANTONIO, TX	78228
DEMARS, MARCHEL S & RACHEL S DEMARS	227	CROMWELL	SAN ANTONIO, TX	78228
SOLIZ, GERARDO G	230	CROMWELL	SAN ANTONIO, TX	78228
PEARSON, NORMA C	231	CROMWELL	SAN ANTONIO, TX	78228
FLORES, ROBERTO & ESTHER P	234	CROMWELL	SAN ANTONIO, TX	78228
FLORES, ESTHER P	235	CROMWELL	SAN ANTONIO, TX	78228
ESQUIVEL, JESSE	239	CROMWELL	SAN ANTONIO, TX	78228
SALAZAR, MARIA ELISA	242	CROMWELL	SAN ANTONIO, TX	78228
GRAMMAR, MARY J	243	CROMWELL	SAN ANTONIO, TX	78228
CASTILLO, HENRY E	247	CROMWELL	SAN ANTONIO, TX	78228
CENTENO, DOMINGO III & RACHEAL B	250	CROMWELL	SAN ANTONIO, TX	78228
DOBBINS, DORIS C	251	CROMWELL	SAN ANTONIO, TX	78228

PROPERTY OWNER		PROPERTY ADDRESS	
DONALDSON, E L JR & ELAINE	254	CROMWELL	SAN ANTONIO, TX 78228
RODRIGUES, RODOLFO & LUPITA	255	CROMWELL	SAN ANTONIO, TX 78228
DEHOYOS, DANIEL ISAAC	258	CROMWELL	SAN ANTONIO, TX 78228
CISNEROS, LAURA LYDIA	259	CROMWELL	SAN ANTONIO, TX 78228
GARZA, JOSEFINA L & SAMUEL J	263	CROMWELL	SAN ANTONIO, TX 78228
OZUNA, MARGARET	264	CROMWELL	SAN ANTONIO, TX 78228
RAST, EDWARD & MARION	266	CROMWELL	SAN ANTONIO, TX 78228
MARTINEZ, RICARDO A & MICHAEL PACHECO	267	CROMWELL	SAN ANTONIO, TX 78228
NINO, PORFIRIO M & BEATRICE C	271	CROMWELL	SAN ANTONIO, TX 78228
WOOLLEY, ALLENE K	274	CROMWELL	SAN ANTONIO, TX 78228
CHIQUILLO, RICARDO A ETAL	275	CROMWELL	SAN ANTONIO, TX 78228
TADEFA, VICTOR A & REBECCA	278	CROMWELL	SAN ANTONIO, TX 78228
CALFAS, FIA B EST OF DAVID OLIVER	279	CROMWELL	SAN ANTONIO, TX 78228
HERNANDEZ, MARK & LAURA ANN	102	CROMWELL	SAN ANTONIO, TX 78228
MARTINEZ, ALICE B & HORTENCIA	103	CROMWELL	SAN ANTONIO, TX 78228
GARZA, MARIA A	918	DICKINSON	SAN ANTONIO, TX 78228
MEALS, WAYNE D	1003	DONALDSON AV	SAN ANTONIO, TX 78228
SHAH, KIRANKUMAR M & INDUMATI	1005	DONALDSON AV	SAN ANTONIO, TX 78228
RICO, MANUEL A & DIANNA A	1009	DONALDSON AV	SAN ANTONIO, TX 78228
FITE INVESTMENTS LTD PTSHP	1011	DONALDSON AV	SAN ANTONIO, TX 78228
LANFRANCO, SUZANNE	1019	DONALDSON AV	SAN ANTONIO, TX 78228
MEDOLA, LOUIS B	1021	DONALDSON AV	SAN ANTONIO, TX 78228
MARTINEZ, NORBERTO ETAL	1023	DONALDSON AV	SAN ANTONIO, TX 78228
KRISS, PETER J & EVA	1027	DONALDSON AV	SAN ANTONIO, TX 78228
RODRIGUEZ, ARMANDO A & MARIA D	1031	DONALDSON AV	SAN ANTONIO, TX 78228
ORRTEGA, JILBERTO	1042	DONALDSON AV	SAN ANTONIO, TX 78228
TREVINO, ELIZABETH STEIN	1047	DONALDSON AV	SAN ANTONIO, TX 78228
FALCON, LYDIA	1051	DONALDSON AV	SAN ANTONIO, TX 78228
SANCHEZ, JESUSITA O	1057	DONALDSON AV	SAN ANTONIO, TX 78228
R M SANCHEZ MINISTRIES	1060	DONALDSON AV	SAN ANTONIO, TX 78228
SILLER, ARTHUR J & VIRGINIA	1061	DONALDSON AV	SAN ANTONIO, TX 78228
VILLALOBOS, LIDIA & EVA V FLORES	1067	DONALDSON AV	SAN ANTONIO, TX 78228
MUNOZ, SAMUEL	1071	DONALDSON AV	SAN ANTONIO, TX 78228
KEMPF, SCOTT D & MARGARET A CRAIG	1101	DONALDSON AV	SAN ANTONIO, TX 78228
OHARA, DENISE GWLADYS & JOSEPH	1102	DONALDSON AV	SAN ANTONIO, TX 78228
CRAY, FRANCES L	1108	DONALDSON AV	SAN ANTONIO, TX 78228
MCCARTHY, FRANCES L	1112	DONALDSON AV	SAN ANTONIO, TX 78228
ESCOBAR, ROBERT MANUEL	1115	DONALDSON AV	SAN ANTONIO, TX 78228
CRUZ, JESUS & NELDA	1116	DONALDSON AV	SAN ANTONIO, TX 78228
MORIN, ANDRES RICARDO	1120	DONALDSON AV	SAN ANTONIO, TX 78228
RAMIREZ, XAVIER	1121	DONALDSON AV	SAN ANTONIO, TX 78228
STRUM, GERALD S EST OF	1124	DONALDSON AV	SAN ANTONIO, TX 78228
ZEPEDA, MARIA ANGEL	1125	DONALDSON AV	SAN ANTONIO, TX 78228
DYLLA, CAROLYN	1129	DONALDSON AV	SAN ANTONIO, TX 78228
CANELIS, LLOYD GEORGE	1130	DONALDSON AV	SAN ANTONIO, TX 78228
PEREZ, MARK ALEXANDER & KATHERINE E	1133	DONALDSON AV	SAN ANTONIO, TX 78228
BELTRAN, MICHAEL G	1134	DONALDSON AV	SAN ANTONIO, TX 78228
OLIVA, CARMEN	1137	DONALDSON AV	SAN ANTONIO, TX 78228
RAMIREZ, DANIEL	1146	DONALDSON AV	SAN ANTONIO, TX 78228
HURON, ROGER & AMALIA B	1150	DONALDSON AV	SAN ANTONIO, TX 78228
MENDIOLA, ANTONIO R	1158	DONALDSON AV	SAN ANTONIO, TX 78228
RESENDIZ, NORBERTO	901	DONALDSON AV	SAN ANTONIO, TX 78228

PROPERTY OWNER	PROPERTY ADDRESS	PROPERTY ADDRESS	PROPERTY ADDRESS
GARCIA, ROLAND G & SUZANA T	904 DONALDSON AV	SAN ANTONIO, TX	78228
HASHASH, SHIMON & NEOMI	905 DONALDSON AV	SAN ANTONIO, TX	78228
DELEON, PETER C & ZULEMA B	909 DONALDSON AV	SAN ANTONIO, TX	78228
ZACHARIADES, CONSTANTINOS	912 DONALDSON AV	SAN ANTONIO, TX	78228
YBARRA, CHARLES A & VICTORIA	917 DONALDSON AV	SAN ANTONIO, TX	78228
FITE INVESTMENTS LTD PTSHP	918 DONALDSON AV	SAN ANTONIO, TX	78228
BOTELLO, FLORINDA G	921 DONALDSON AV	SAN ANTONIO, TX	78228
FISCHER, KENNETH J & WILMA	925 DONALDSON AV	SAN ANTONIO, TX	78228
CHICKA, METTA C & FRANCES E RICH	931 DONALDSON AV	SAN ANTONIO, TX	78228
HERNANDEZ, SUSANA L	935 DONALDSON AV	SAN ANTONIO, TX	78228
HERNANDEZ, SUSANA L	937 DONALDSON AV	SAN ANTONIO, TX	78228
FERRO, JOSEPH A	941 DONALDSON AV	SAN ANTONIO, TX	78228
GRACE PRESBYTERIAN CHURCH	950 DONALDSON AV	SAN ANTONIO, TX	78228
FITE INVESTMENTS LTD PTHSP	1001 DONALDSON AV	SAN ANTONIO, TX	78228
VAN VOLKOM-KING TRUST	1002 DONALDSON AV	SAN ANTONIO, TX	78228
MART, RONALD C & RENATE	2402 GRAMERCY PL W	SAN ANTONIO, TX	78228
ALVAREZ, RITA A	2403 GRAMERCY PL W	SAN ANTONIO, TX	78228
JEFFERSON UNITED METHODIST	2407 GRAMERCY PL W	SAN ANTONIO, TX	78228
LOZANO, JUANITA E	2410 GRAMERCY PL W	SAN ANTONIO, TX	78228
MORENO, JOSE R & BRIGIDA F	2411 GRAMERCY PL W	SAN ANTONIO, TX	78228
PEKARSKY, ANNA R	2414 GRAMERCY PL W	SAN ANTONIO, TX	78228
MARTINEZ, BENITO C JR & LAURA E	2415 GRAMERCY PL W	SAN ANTONIO, TX	78228
DEVOOGD, STANLEY & KATHERINE	2418 GRAMERCY PL W	SAN ANTONIO, TX	78228
GARCIA, MARGARET L & TIMOTHY P	2419 GRAMERCY PL W	SAN ANTONIO, TX	78228
MORAN, RAUL C & ROBERTA YVONNE	2422 GRAMERCY PL W	SAN ANTONIO, TX	78228
BARAY, RAYMOND	2423 GRAMERCY PL W	SAN ANTONIO, TX	78228
MARTINEZ, RAYMUNDO A & MARIA	2426 GRAMERCY PL W	SAN ANTONIO, TX	78228
GARST & CO LTD	2427 GRAMERCY PL W	SAN ANTONIO, TX	78228
AYALA, REMIGIO E & MARTHA M	2430 GRAMERCY PL W	SAN ANTONIO, TX	78228
FERNANDEZ, RALPH M & MARIA J	2431 GRAMERCY PL W	SAN ANTONIO, TX	78228
CAMPOS, CHARLIE JR & DOLORES	2434 GRAMERCY PL W	SAN ANTONIO, TX	78228
VILLARREAL, EDUARDO & MARGARET	2435 GRAMERCY PL W	SAN ANTONIO, TX	78228
RAMIREZ, WAYNE A & ANDREA D	2502 GRAMERCY PL W	SAN ANTONIO, TX	78228
ANDERSON, J D	2505 GRAMERCY PL W	SAN ANTONIO, TX	78228
STRAIT, LUTHER WILLIAM	2511 GRAMERCY PL W	SAN ANTONIO, TX	78228
GONZALEZ, LORENZO & RACHEL L	2512 GRAMERCY PL W	SAN ANTONIO, TX	78228
RICHMOND, CAROLYN M	2517 GRAMERCY PL W	SAN ANTONIO, TX	78228
POLL, MATHEW B & ISABEL R	2520 GRAMERCY PL W	SAN ANTONIO, TX	78228
ROSENBERG, ANNA B	2521 GRAMERCY PL W	SAN ANTONIO, TX	78228
BLACK, THOMAS B & MARY ANN	2525 GRAMERCY PL W	SAN ANTONIO, TX	78228
MAHAVIER, WILLARD E JR	2526 GRAMERCY PL W	SAN ANTONIO, TX	78228
GONZALEZ, CEASER H	2530 GRAMERCY PL W	SAN ANTONIO, TX	78228
PYLE, GERALDINE MONIER	2534 GRAMERCY PL W	SAN ANTONIO, TX	78228
DAUER, JOHN & YOLANDA PEREZ	2540 GRAMERCY PL W	SAN ANTONIO, TX	78228
ORNELAS, SILVERIO LOPEZ & LEONOR GARCIA	2542 GRAMERCY PL W	SAN ANTONIO, TX	78228
KARAM, EDMOND D	2543 GRAMERCY PL W	SAN ANTONIO, TX	78228
GARCIA, ABEL R & MARTHA V	2546 GRAMERCY PL W	SAN ANTONIO, TX	78228
TREVINO, FRANK G & CLAUDINA	2547 GRAMERCY PL W	SAN ANTONIO, TX	78228
ACOSTA, JOSE L & OLGA C	2550 GRAMERCY PL W	SAN ANTONIO, TX	78228
VILLAREAL, JESSE JR & MARTHA R	2551 GRAMERCY PL W	SAN ANTONIO, TX	78228
VARGAS, RICHARD G & MARY L	2554 GRAMERCY PL W	SAN ANTONIO, TX	78228
KARAM, MORRIS & MARGARET	2555 GRAMERCY PL W	SAN ANTONIO, TX	78228

PROPERTY OWNER		PROPERTY ADDRESS	
ORTIZ, RAMON C & JOSEPHINE	2559	GRAMERCY PL W	SAN ANTONIO, TX 78228
MENASCO, PAUL B	2602	GRAMERCY PL W	SAN ANTONIO, TX 78228
DIENGER, CARL	2603	GRAMERCY PL W	SAN ANTONIO, TX 78228
PRADE, DOROTHY VOGT	2606	GRAMERCY PL W	SAN ANTONIO, TX 78228
HERNANDEZ, CARLOS	2607	GRAMERCY PL W	SAN ANTONIO, TX 78228
GUTIERREZ, FIDENCIO	2609	GRAMERCY PL W	SAN ANTONIO, TX 78228
HERNANDEZ, MARIA & M.ANTONIO	2610	GRAMERCY PL W	SAN ANTONIO, TX 78228
ZERTUCHE, FERNANDO J & DOLORES A	2611	GRAMERCY PL W	SAN ANTONIO, TX 78228
MARTINEZ, MARIA DEL	2614	GRAMERCY PL W	SAN ANTONIO, TX 78228
HUIZAR, RUBEN & MARIA R	2618	GRAMERCY PL W	SAN ANTONIO, TX 78228
SKINNER, PAUL P & IRENE	2619	GRAMERCY PL W	SAN ANTONIO, TX 78228
CURRY, LA VERNE D	2629	GRAMERCY PL W	SAN ANTONIO, TX 78228
BOORD, JOSEPHINE	2630	GRAMERCY PL W	SAN ANTONIO, TX 78228
VILLASENOR, ROY A & MARY LOU	2631	GRAMERCY PL W	SAN ANTONIO, TX 78228
XIMENES, ROBERT A & ELVIRA H	2634	GRAMERCY PL W	SAN ANTONIO, TX 78228
ALVA, HERLINDA R	2638	GRAMERCY PL W	SAN ANTONIO, TX 78228
ROEL, ANTHONY & DIANE	2639	GRAMERCY PL W	SAN ANTONIO, TX 78228
ARCOS, LOUIS & JANIE G	2642	GRAMERCY PL W	SAN ANTONIO, TX 78228
ZAMORA, LEOPOLDO S & MARIA J	2643	GRAMERCY PL W	SAN ANTONIO, TX 78228
SONNEN, DAVID O & IRENE	2646	GRAMERCY PL W	SAN ANTONIO, TX 78228
DONOP, JAMES J & JUDITH E	2650	GRAMERCY PL W	SAN ANTONIO, TX 78228
SMITH, BURNLEY DUKE & JANE GAYNOR	2651	GRAMERCY PL W	SAN ANTONIO, TX 78228
RODRIGUEZ, ERIBERTO & VIRGINAI V	2655	GRAMERCY PL W	SAN ANTONIO, TX 78228
ARRIAGA, MARIO E & ROSE MARY	2656	GRAMERCY PL W	SAN ANTONIO, TX 78228
CAMACHO, JUAN S & MARINA	2659	GRAMERCY PL W	SAN ANTONIO, TX 78228
CAMPACOS, NELLIE RAMIREZ	110	HAVERHILL	SAN ANTONIO, TX 78228
TRINITY EPISCOPAL CHURCH	111	HAVERHILL	SAN ANTONIO, TX 78228
SALAS, ISIDRO JR	114	HAVERHILL	SAN ANTONIO, TX 78228
ORTEGA, ANTONIO I & CARMEN C	118	HAVERHILL	SAN ANTONIO, TX 78228
RAMIREZ, JOE MARTIN & SYLVIA B	122	HAVERHILL	SAN ANTONIO, TX 78228
BROWN, THELMA MACHEN	123	HAVERHILL	SAN ANTONIO, TX 78228
CENTENO, ERNEST & BARBARA	126	HAVERHILL	SAN ANTONIO, TX 78228
NEIRA, ALICE O	127	HAVERHILL	SAN ANTONIO, TX 78228
ZOLLER, CAROL JEAN	130	HAVERHILL	SAN ANTONIO, TX 78228
ORNELAZ, STEVE ANTHO & LOURDES LANDA	131	HAVERHILL	SAN ANTONIO, TX 78228
MCCARTY, EVA P DELL	134	HAVERHILL	SAN ANTONIO, TX 78228
SANDOVAL, EVANGELINE L TR	135	HAVERHILL	SAN ANTONIO, TX 78228
GARCIA, ESTELA MS	139	HAVERHILL	SAN ANTONIO, TX 78228
AROCHA, SANTOS JR	203	HAVERHILL	SAN ANTONIO, TX 78228
PLACIER, TOMAS & JOSIE	204	HAVERHILL	SAN ANTONIO, TX 78228
WENDTLAND, LILLIAN Y & STEVEN J	206	HAVERHILL	SAN ANTONIO, TX 78228
CAMPBELL, DIANE E	207	HAVERHILL	SAN ANTONIO, TX 78228
MORALES, MIGUEL R	210	HAVERHILL	SAN ANTONIO, TX 78228
GUTIERREZ, REYES N & CARMEN	211	HAVERHILL	SAN ANTONIO, TX 78228
CRONFUL, LINA D	214	HAVERHILL	SAN ANTONIO, TX 78228
RODRIGUEZ, RICARDO	215	HAVERHILL	SAN ANTONIO, TX 78228
CASTILLO, HENRY E	218	HAVERHILL	SAN ANTONIO, TX 78228
VARGAS, RAUL G	219	HAVERHILL	SAN ANTONIO, TX 78228
GODINA, MANUELA V	222	HAVERHILL	SAN ANTONIO, TX 78228
JUREK, ALVIN & MILDRED D	223	HAVERHILL	SAN ANTONIO, TX 78228
ALCALA, MIKE & FRANCES	227	HAVERHILL	SAN ANTONIO, TX 78228
RODRIGUEZ, LORETTA A	231	HAVERHILL	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
KARIGER, PAUL O JR	238	HAVERHILL	SAN ANTONIO, TX 78228
OVALLE, GONZALO G JR & HELEN F	242	HAVERHILL	SAN ANTONIO, TX 78228
MIRELES, AMPARO	302	HAVERHILL	SAN ANTONIO, TX 78228
LOWRY, MARY LOUISE	303	HAVERHILL	SAN ANTONIO, TX 78228
GARZA, AURORA	306	HAVERHILL	SAN ANTONIO, TX 78228
BRIGHAM, DEBORAH OZAN	307	HAVERHILL	SAN ANTONIO, TX 78228
REAGAN, CINDY LU ETAL	310	HAVERHILL	SAN ANTONIO, TX 78228
REAGAN, CINDY LU ETAL	310	HAVERHILL	SAN ANTONIO, TX 78228
CHAVARRIA, CHARLES S & BLANCA E	311	HAVERHILL	SAN ANTONIO, TX 78228
GONZALEZ, MELQUIADES & LAURA	314	HAVERHILL	SAN ANTONIO, TX 78228
JIMENEZ, RUBEN JR & EVA MARIA	315	HAVERHILL	SAN ANTONIO, TX 78228
SMITH, BARBARA ANN	318	HAVERHILL	SAN ANTONIO, TX 78228
ACOSTA, AARON C	319	HAVERHILL	SAN ANTONIO, TX 78228
RAMIREZ, GLORIA E	322	HAVERHILL	SAN ANTONIO, TX 78228
GARZA, REYNALDO S & JUANITA	328	HAVERHILL	SAN ANTONIO, TX 78228
BENAVIDES, ANDREA G	332	HAVERHILL	SAN ANTONIO, TX 78228
DELEON, CELESTE	334	HAVERHILL	SAN ANTONIO, TX 78228
BAIER, EDITH J & POLLY M GAVORD	338	HAVERHILL	SAN ANTONIO, TX 78228
GARZA, PAUL G & SYLVIA R	102	HAVERHILL	SAN ANTONIO, TX 78228
DELEON, OCTAVIO & OFELIA	106	HAVERHILL	SAN ANTONIO, TX 78228
MONTEMAYOR, OSCAR SR	2301	HUISACHE AV W	SAN ANTONIO, TX 78201
LONG, WILLIAM & JUANITA	2302	HUISACHE AV W	SAN ANTONIO, TX 78201
RAMIREZ, RICARDO	2306	HUISACHE AV W	SAN ANTONIO, TX 78201
RODRIGUEZ, REYNALDO & BERTHA	2309	HUISACHE AV W	SAN ANTONIO, TX 78201
PENA, PONCIANO & ELVIRA CEPEDA	2310	HUISACHE AV W	SAN ANTONIO, TX 78201
VASQUEZ, GILBERT C & MARGARITA	2314	HUISACHE AV W	SAN ANTONIO, TX 78201
ACEVEDO, RUBEN	2315	HUISACHE AV W	SAN ANTONIO, TX 78201
RAMIREZ, RAUL H & DOLORES U.	2321	HUISACHE AV W	SAN ANTONIO, TX 78201
MARTINEZ, MIGUEL A & LAURA L	2324	HUISACHE AV W	SAN ANTONIO, TX 78201
CARDENAS, CELESTINA Z	2325	HUISACHE AV W	SAN ANTONIO, TX 78201
FERNANDEZ, ROBERTO G & ROSE	2326	HUISACHE AV W	SAN ANTONIO, TX 78201
CONTRERAS, DOROTHY LEE	2329	HUISACHE AV W	SAN ANTONIO, TX 78201
MARTEL, HENRY & OLGA	2330	HUISACHE AV W	SAN ANTONIO, TX 78201
RAMOS, GRACE G & JOSIE G	2333	HUISACHE AV W	SAN ANTONIO, TX 78201
NEMKY, HAROLD W C	2334	HUISACHE AV W	SAN ANTONIO, TX 78201
GRANADOS, OSCAR E JR & DIANA	2337	HUISACHE AV W	SAN ANTONIO, TX 78201
HANSON, EVELYN D	2338	HUISACHE AV W	SAN ANTONIO, TX 78201
TRAVIS, ROBERT C	2341	HUISACHE AV W	SAN ANTONIO, TX 78201
RIOS, YOLIE	2342	HUISACHE AV W	SAN ANTONIO, TX 78201
BARNEBEY, LAUREN R	2345	HUISACHE AV W	SAN ANTONIO, TX 78201
HAVINS, KELLY JEAN	2346	HUISACHE AV W	SAN ANTONIO, TX 78201
SMELTZER, WESLEY JOHN	2349	HUISACHE AV W	SAN ANTONIO, TX 78201
BROWN, BOBBETTE ANN	2353	HUISACHE AV W	SAN ANTONIO, TX 78201
HIDALGO, EMILIO & ROSE	2357	HUISACHE AV W	SAN ANTONIO, TX 78201
DE LA GARZA, ALBERT & MARGARET	2402	HUISACHE AV W	SAN ANTONIO, TX 78228
LOPEZ, LAURA	2403	HUISACHE AV W	SAN ANTONIO, TX 78228
LOZANO, YVONNE M	2406	HUISACHE AV W	SAN ANTONIO, TX 78228
BETHEL MEXICAN BAPTIST	2407	HUISACHE AV W	SAN ANTONIO, TX 78228
GARCIA, GUADALUPE G & MARIA	2410	HUISACHE AV W	SAN ANTONIO, TX 78228
BARRERA, HENRIETTA C	2411	HUISACHE AV W	SAN ANTONIO, TX 78228
POMPA, SAUL & CARMEN	2414	HUISACHE AV W	SAN ANTONIO, TX 78228
GARZA, JOSE L & HERLYNDA A	2415	HUISACHE AV W	SAN ANTONIO, TX 78228

PROPERTY OWNER	PROPERTY ADDRESS
LOZA, RUDY G & OLIVIA V	2418 HUISACHE AV W SAN ANTONIO, TX 78228
GARCIA, RAYMUNDO C & EDNA C	2419 HUISACHE AV W SAN ANTONIO, TX 78228
VIDAL, LEONARD E	2422 HUISACHE AV W SAN ANTONIO, TX 78228
OVALLE, FRANCISCO & MARIA T	2423 HUISACHE AV W SAN ANTONIO, TX 78228
CORREA, JOE E JR	2426 HUISACHE AV W SAN ANTONIO, TX 78228
LITOFISKY, ANA	2427 HUISACHE AV W SAN ANTONIO, TX 78228
CISNEROS, DANIEL & MARY LOUSE	2430 HUISACHE AV W SAN ANTONIO, TX 78228
GOMEZ, VICTOR C JR & FELICE	2431 HUISACHE AV W SAN ANTONIO, TX 78228
ESCARENO, LOUIS R & ANGELINA	2435 HUISACHE AV W SAN ANTONIO, TX 78228
SANCHEZ, ANN P ETAL	2438 HUISACHE AV W SAN ANTONIO, TX 78228
BERNAL, RODOLFO V & ADELA S	2439 HUISACHE AV W SAN ANTONIO, TX 78228
OBREGON, CAROLYN	2442 HUISACHE AV W SAN ANTONIO, TX 78228
KEMMY, CHRISTOPHER J	2443 HUISACHE AV W SAN ANTONIO, TX 78228
VARGAS, TERESA L	2446 HUISACHE AV W SAN ANTONIO, TX 78228
ZAVALA, JOE F	2447 HUISACHE AV W SAN ANTONIO, TX 78228
VALDEZ, CLEMENCIA	2450 HUISACHE AV W SAN ANTONIO, TX 78228
GONZALEZ, FRANCISCO & MAGDALENA	2451 HUISACHE AV W SAN ANTONIO, TX 78228
MARTINEZ, REBECCA G	2454 HUISACHE AV W SAN ANTONIO, TX 78228
TRUESDALE, PETER & CLARA	2458 HUISACHE AV W SAN ANTONIO, TX 78228
AMADOR, RUDOLFO	2501 HUISACHE AV W SAN ANTONIO, TX 78228
MARTINEZ, CAMILLO M & FRANCES	2502 HUISACHE AV W SAN ANTONIO, TX 78228
AVILA, JESUS M & CONSUELO	2506 HUISACHE AV W SAN ANTONIO, TX 78228
DIAZ, VIRGINIA G	2507 HUISACHE AV W SAN ANTONIO, TX 78228
CHASE MANHATTAN BANK	2510 HUISACHE AV W SAN ANTONIO, TX 78228
AMADOR, MANUEL A & MARIA E	2513 HUISACHE AV W SAN ANTONIO, TX 78228
ASHTON, FERNANDO	2514 HUISACHE AV W SAN ANTONIO, TX 78228
SOWELL, C L	2518 HUISACHE AV W SAN ANTONIO, TX 78228
STEPHENS, IDA L	2519 HUISACHE AV W SAN ANTONIO, TX 78228
ORTIZ, LEONOR P	2524 HUISACHE AV W SAN ANTONIO, TX 78228
SIFUENTES, DORA ELIA	2525 HUISACHE AV W SAN ANTONIO, TX 78228
ZAMORA, LEOPOLDO S & MARIA J	2530 HUISACHE AV W SAN ANTONIO, TX 78228
DELEON, JESUS E SR	2531 HUISACHE AV W SAN ANTONIO, TX 78228
LIMON, FELICIANO & ALICIA M	2537 HUISACHE AV W SAN ANTONIO, TX 78228
TRUJILLO, LOUIS C & CELIA L	2538 HUISACHE AV W SAN ANTONIO, TX 78228
MENCHACA, BRAULIO L	2543 HUISACHE AV W SAN ANTONIO, TX 78228
CAMPOS, ALFREDO SR & REBECCA	2544 HUISACHE AV W SAN ANTONIO, TX 78228
LOPEZ, EDWARD G ET AL	2548 HUISACHE AV W SAN ANTONIO, TX 78228
ESPINOZA, BERNARDINO S JR & MISTY M	2549 HUISACHE AV W SAN ANTONIO, TX 78228
QUINTERO, JERRY F & LETICIA MANCERA	2552 HUISACHE AV W SAN ANTONIO, TX 78228
BONILLA, ANTONIO JR & DORA	2555 HUISACHE AV W SAN ANTONIO, TX 78228
NANDIN, JOSE R JR & JEANETTE L	2558 HUISACHE AV W SAN ANTONIO, TX 78228
ESPINOZA, RICHARD	2602 HUISACHE AV W SAN ANTONIO, TX 78228
ESCOBAR, PAUL G & MARIA	2610 HUISACHE AV W SAN ANTONIO, TX 78228
VALDEZ, SALVADOR R JR & ANNIE	2614 HUISACHE AV W SAN ANTONIO, TX 78228
ROBERTSON, NORMAN E & JACQUELYN	2618 HUISACHE AV W SAN ANTONIO, TX 78228
YUTANI, SERGIO A	2622 HUISACHE AV W SAN ANTONIO, TX 78228
PELAYO, MANUEL C SR & MARGARET	2626 HUISACHE AV W SAN ANTONIO, TX 78228
MARTINEZ, GEORGE F & ELIA G	2630 HUISACHE AV W SAN ANTONIO, TX 78228
CORTEZ, CONSUELO V	2636 HUISACHE AV W SAN ANTONIO, TX 78228
MARTINEZ, YOLANDA L	2638 HUISACHE AV W SAN ANTONIO, TX 78228
GUESS, ROBERT V & MARJORIE	2702 HUISACHE AV W SAN ANTONIO, TX 78228
PERRY, GORDON L & EDNA J	2706 HUISACHE AV W SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
VALLEJO, JESUS R & GLADYS M	2712	HUISACHE AV W	SAN ANTONIO, TX 78228
JOHNSON, MARTHA ELENA	2718	HUISACHE AV W	SAN ANTONIO, TX 78228
VEGA, GUADALUPE R & ISSAC	2722	HUISACHE AV W	SAN ANTONIO, TX 78228
ZAPATA, ELOY & DIANA S.	2724	HUISACHE AV W	SAN ANTONIO, TX 78228
SANCHEZ MANUEL & SYLVIA	2728	HUISACHE AV W	SAN ANTONIO, TX 78228
MENESES, RUDY B & MODESTA G	2732	HUISACHE AV W	SAN ANTONIO, TX 78228
GARCIA, OSCAR & OFELIA M	2736	HUISACHE AV W	SAN ANTONIO, TX 78228
GAITAN, NERI & AMELIA P	2740	HUISACHE AV W	SAN ANTONIO, TX 78228
CALVILLO, RICHARD C & FRANCES T	219	JOHN ADAMS	SAN ANTONIO, TX 78228
COATES, MARIA G	223	JOHN ADAMS	SAN ANTONIO, TX 78228
SCHEIBLE, RUTH A	227	JOHN ADAMS	SAN ANTONIO, TX 78228
SWEENEY, MICAELA	300	JOHN ADAMS	SAN ANTONIO, TX 78228
ST PAULS CATHOLIC CHURCH	302	JOHN ADAMS	SAN ANTONIO, TX 78228
VALENZUELA, GREGORIO M	306	JOHN ADAMS	SAN ANTONIO, TX 78228
ST PAULS CATHOLIC CHURCH	310	JOHN ADAMS	SAN ANTONIO, TX 78228
ST PAULS CATHOLIC CHURCH	314	JOHN ADAMS	SAN ANTONIO, TX 78228
ST PAULS CATHOLIC CHURCH	322	JOHN ADAMS	SAN ANTONIO, TX 78228
ST PAULS CATHOLIC CHURCH	326	JOHN ADAMS	SAN ANTONIO, TX 78228
SMITH, PAULA D	108	JOHN ADAMS	SAN ANTONIO, TX 78228
HANS, FRANCES E	215	JOHN ADAMS	SAN ANTONIO, TX 78228
RATHBUN, DON PATEMAN & ANN L	101	JOHN PAGE	SAN ANTONIO, TX 78228
SOLIS, DAVID E & EVELYN J	105	JOHN PAGE	SAN ANTONIO, TX 78228
MORENO, OSCAR & CORINA	109	JOHN PAGE	SAN ANTONIO, TX 78228
CADENA, ANTOINETTE T	115	JOHN PAGE	SAN ANTONIO, TX 78228
YNOSTROSA, FRANCES I R	119	JOHN PAGE	SAN ANTONIO, TX 78228
DUARTE, MARIA E & THERESA C CASTRO	123	JOHN PAGE	SAN ANTONIO, TX 78228
NEUMANN, KAI P & LUCILA L	127	JOHN PAGE	SAN ANTONIO, TX 78228
CALDWELL, LORI E	130	JOHN PAGE	SAN ANTONIO, TX 78228
CASTRO, JOHN H	131	JOHN PAGE	SAN ANTONIO, TX 78228
GUADARRAMA, MIKE JR & YOLANDA M	135	JOHN PAGE	SAN ANTONIO, TX 78228
TOVARES, JOE A & MARY R	136	JOHN PAGE	SAN ANTONIO, TX 78228
GARCIA, VELMA A	139	JOHN PAGE	SAN ANTONIO, TX 78228
ACOSTA, BERTHA R REV L/TR	140	JOHN PAGE	SAN ANTONIO, TX 78228
CASTILLO, JAIME & LINDA	143	JOHN PAGE	SAN ANTONIO, TX 78228
RATCLIFF, CHUCK & PATRICIA B	144	JOHN PAGE	SAN ANTONIO, TX 78228
LLOYD, CLIFFORD R & VIRGINIA PLASENCIA	147	JOHN PAGE	SAN ANTONIO, TX 78228
GARZA, MANUEL ANTHONY	148	JOHN PAGE	SAN ANTONIO, TX 78228
HERNANDEZ, GILBERT & MARGARET PEGGY	201	JOHN PAGE	SAN ANTONIO, TX 78228
CORREA, OLGA G	202	JOHN PAGE	SAN ANTONIO, TX 78228
REIF, ALVIN JR & DORETTA	207	JOHN PAGE	SAN ANTONIO, TX 78228
FLETCHER, JOSEPHINE D	210	JOHN PAGE	SAN ANTONIO, TX 78228
MARTIN, WILLIAM D III	211	JOHN PAGE	SAN ANTONIO, TX 78228
DVORAK, DONALD B	217	JOHN PAGE	SAN ANTONIO, TX 78228
GERHARDT, KATHLYN	218	JOHN PAGE	SAN ANTONIO, TX 78228
CENTENO, DANIEL E & ANITA C	221	JOHN PAGE	SAN ANTONIO, TX 78228
RODRIGUEZ, ANTONIO B	224	JOHN PAGE	SAN ANTONIO, TX 78228
PARTIDA, JEFF B & MARTA ALICIA	225	JOHN PAGE	SAN ANTONIO, TX 78228
RODRIGUEZ, ESTELLA S	403	KAMPMANN BV	SAN ANTONIO, TX 78201
TORRES, PAUL SR & FEBRONIA L	2402	KINGS HWY W	SAN ANTONIO, TX 78228
FLAGSTAR BANK FSB	2403	KINGS HWY W	SAN ANTONIO, TX 78228
KELLEY, HUGHELLA F	2406	KINGS HWY W	SAN ANTONIO, TX 78228
VIDAURRI, JESSE R & CLARA G	2407	KINGS HWY W	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
SALINAS, JULIUS & MARGARITA H	2410	KINGS HWY W	SAN ANTONIO, TX 78228
ALEJANDRO, ARNOLD & MARY L	2411	KINGS HWY W	SAN ANTONIO, TX 78228
GONZALES, ROY G & JOANN V	2414	KINGS HWY W	SAN ANTONIO, TX 78228
RIVERA, ANTONIA G ET AL	2418	KINGS HWY W	SAN ANTONIO, TX 78228
GREENHILL, C R & MARY ELLEN	2419	KINGS HWY W	SAN ANTONIO, TX 78228
CRUZ, RICHARD & MARGARET	2422	KINGS HWY W	SAN ANTONIO, TX 78228
GARCIA, HECTOR C & PATRICIA LEE	2423	KINGS HWY W	SAN ANTONIO, TX 78228
GONZALES, NORMA	2426	KINGS HWY W	SAN ANTONIO, TX 78228
FELAN, JORGE A & ROSA LINDA	2427	KINGS HWY W	SAN ANTONIO, TX 78228
FLORES, NICOLAS J & GINA C	2429	KINGS HWY W	SAN ANTONIO, TX 78228
GONZALEZ, GERONIMO JR	2430	KINGS HWY W	SAN ANTONIO, TX 78228
GUSSMAN, DEBORAH	2431	KINGS HWY W	SAN ANTONIO, TX 78228
GOMEZ, JOE V JR & JO ANN	2434	KINGS HWY W	SAN ANTONIO, TX 78228
GUERRERO, MARY C	2435	KINGS HWY W	SAN ANTONIO, TX 78228
PEREZ, RAUL F & EMMA D	2438	KINGS HWY W	SAN ANTONIO, TX 78228
YBARRA, CHARLES A & VICTORIA	2439	KINGS HWY W	SAN ANTONIO, TX 78228
VETERANS AFFAIRS SECRETARY	2502	KINGS HWY W	SAN ANTONIO, TX 78228
ALLEN, ROGER & MARYEL ISHAM	2503	KINGS HWY W	SAN ANTONIO, TX 78228
CHAVEZ, ARTURO E & MARY M BAEZ	2506	KINGS HWY W	SAN ANTONIO, TX 78228
KELFER, RUTH	2507	KINGS HWY W	SAN ANTONIO, TX 78228
JONES, MARIANNA C	2510	KINGS HWY W	SAN ANTONIO, TX 78228
GEORGACAKIS, WM J & HELEN	2515	KINGS HWY W	SAN ANTONIO, TX 78228
SALINAS, ISMAEL R & GIESELLE E	2519	KINGS HWY W	SAN ANTONIO, TX 78228
GONZALEZ, ESTHER C	2520	KINGS HWY W	SAN ANTONIO, TX 78228
GARZA, JOSEPH R & YVONNE RAMOS	2521	KINGS HWY W	SAN ANTONIO, TX 78228
WEBSTER, JOHN B	2523	KINGS HWY W	SAN ANTONIO, TX 78228
TRUJILLO, ARMANDO L	2524	KINGS HWY W	SAN ANTONIO, TX 78228
GARCIA, MANUEL & DIANE	2526	KINGS HWY W	SAN ANTONIO, TX 78228
PENA, FRANCISCO X & YVONNE M	2527	KINGS HWY W	SAN ANTONIO, TX 78228
BENAVIDES, YOLANDA	2530	KINGS HWY W	SAN ANTONIO, TX 78228
GONZALEZ, HORACE G	2531	KINGS HWY W	SAN ANTONIO, TX 78228
DIAZ, JOE RAMIREZ & SOILA L	2537	KINGS HWY W	SAN ANTONIO, TX 78228
SHAENFIELD, SIDNEY	2538	KINGS HWY W	SAN ANTONIO, TX 78228
WEBBER, JOHN A	2545	KINGS HWY W	SAN ANTONIO, TX 78228
GARCIA, HENRY & VIRGINIA M	2546	KINGS HWY W	SAN ANTONIO, TX 78228
JOHNSON, KENNETH	2551	KINGS HWY W	SAN ANTONIO, TX 78228
LANGFORD, ELDON W & LUCILLE T	2555	KINGS HWY W	SAN ANTONIO, TX 78228
CONTRERAS, JACQUELINE L	2558	KINGS HWY W	SAN ANTONIO, TX 78228
RODRIGUEZ, ARNOLD	2601	KINGS HWY W	SAN ANTONIO, TX 78228
PARADA, TRINIDAD D	2602	KINGS HWY W	SAN ANTONIO, TX 78228
TREVINO, RANDALL J	2607	KINGS HWY W	SAN ANTONIO, TX 78228
BROWN, STEPHEN E & CECILIA	2610	KINGS HWY W	SAN ANTONIO, TX 78228
FELAN, FABIAN & ELISA	2611	KINGS HWY W	SAN ANTONIO, TX 78228
TORRES, SIMON F & ROSA E	2614	KINGS HWY W	SAN ANTONIO, TX 78228
MAYORGA, LOUIS G & ANITA	2615	KINGS HWY W	SAN ANTONIO, TX 78228
MERAS, MARIO M & HORTENCIA J	2618	KINGS HWY W	SAN ANTONIO, TX 78228
MARTINEZ, GEORGE M & LILA P	2623	KINGS HWY W	SAN ANTONIO, TX 78228
MEDOLA, LOUIS B	2627	KINGS HWY W	SAN ANTONIO, TX 78228
HENDERSON, RAMSEY M & NORMA	2630	KINGS HWY W	SAN ANTONIO, TX 78228
FRAIGE, GEORGE S	2634	KINGS HWY W	SAN ANTONIO, TX 78228
OLIVARES, ERNEST G & TERESA G	2635	KINGS HWY W	SAN ANTONIO, TX 78228
HERNANDEZ, ANDREW & TERRY RIOJAS	2638	KINGS HWY W	SAN ANTONIO, TX 78228

PROPERTY OWNER	PROPERTY ADDRESS	PROPERTY ADDRESS	PROPERTY ADDRESS
NORTON, RAY O ETAL	2641	KINGS HWY W	SAN ANTONIO, TX 78228
VELASQUEZ, JOE M & DOLORES M	2646	KINGS HWY W	SAN ANTONIO, TX 78228
RODRIGUEZ, BLANCA ESTELL A	2647	KINGS HWY W	SAN ANTONIO, TX 78228
LARIOS, BLANCA DORA	2650	KINGS HWY W	SAN ANTONIO, TX 78228
GARCIA, RAFAEL R & BARBARA J	2652	KINGS HWY W	SAN ANTONIO, TX 78228
CHAVEZ, ARTURO T & RENE I WOLFE	2655	KINGS HWY W	SAN ANTONIO, TX 78228
ELIZONDO, LEON & STELLA	2658	KINGS HWY W	SAN ANTONIO, TX 78228
SANCHEZ, NINFA	2659	KINGS HWY W	SAN ANTONIO, TX 78228
GARZA, EUDELIA D	2301	MAGNOLIA AV W	SAN ANTONIO, TX 78201
FERNANDEZ, LILY	2302	MAGNOLIA AV W	SAN ANTONIO, TX 78201
MARTINEZ, JACOB R	2306	MAGNOLIA AV W	SAN ANTONIO, TX 78201
TORRES, DANIEL	2307	MAGNOLIA AV W	SAN ANTONIO, TX 78201
BANASAU, ERNEST C SR & ELEANOR G	2310	MAGNOLIA AV W	SAN ANTONIO, TX 78201
PEREZ, GEORGE & ELSA L	2311	MAGNOLIA AV W	SAN ANTONIO, TX 78201
RIVERS, ELIZA C	2314	MAGNOLIA AV W	SAN ANTONIO, TX 78201
RODRIGUEZ, JUAN J	2315	MAGNOLIA AV W	SAN ANTONIO, TX 78201
GALVEZ, CARMEN C	2318	MAGNOLIA AV W	SAN ANTONIO, TX 78201
VELASQUEZ, JOSE M & PETRA L	2319	MAGNOLIA AV W	SAN ANTONIO, TX 78201
FERNANDEZ, ARTURO & IRMA	2322	MAGNOLIA AV W	SAN ANTONIO, TX 78201
GARZA, ELISEO JR & ROSALINDA A	2323	MAGNOLIA AV W	SAN ANTONIO, TX 78201
MEDINA, FRANK IV & LORETTA M	2326	MAGNOLIA AV W	SAN ANTONIO, TX 78201
PEDRAZA, CAROLYN R	2327	MAGNOLIA AV W	SAN ANTONIO, TX 78201
BAHENA, MARCOS & ANA O	2331	MAGNOLIA AV W	SAN ANTONIO, TX 78201
LOPEZ, SERGIO A SR & GRACIELA	2402	MAGNOLIA AV W	SAN ANTONIO, TX 78228
HERNANDEZ, JANIE SALDANA	2403	MAGNOLIA AV W	SAN ANTONIO, TX 78228
SANDOVAL, RAFAEL J & LISA M	2406	MAGNOLIA AV W	SAN ANTONIO, TX 78228
DRAGOO, LLOYD D JR	2407	MAGNOLIA AV W	SAN ANTONIO, TX 78228
SAENZ, MATTHEW G & SHELLEY E	2410	MAGNOLIA AV W	SAN ANTONIO, TX 78228
WEEHLER, KAREN	2411	MAGNOLIA AV W	SAN ANTONIO, TX 78228
CANTU, ALICE	2414	MAGNOLIA AV W	SAN ANTONIO, TX 78228
SANTANA, JOSE & VINCENTE GONZALES	2415	MAGNOLIA AV W	SAN ANTONIO, TX 78228
MYERS, COLLIN S JR	2418	MAGNOLIA AV W	SAN ANTONIO, TX 78228
AMERICAN G I FORUM NATIONAL	2419	MAGNOLIA AV W	SAN ANTONIO, TX 78228
HARMES, AUDRY F	2422	MAGNOLIA AV W	SAN ANTONIO, TX 78228
GAMBOA, RAYMOND LUNA & EVANGELINA R	2423	MAGNOLIA AV W	SAN ANTONIO, TX 78228
GARCIA, ALICE	2426	MAGNOLIA AV W	SAN ANTONIO, TX 78228
GALLEGOS, JOSE B & MARY G	2427	MAGNOLIA AV W	SAN ANTONIO, TX 78228
PULEO, PHILLIP A & JOSEFINA	2430	MAGNOLIA AV W	SAN ANTONIO, TX 78228
MARTINEZ, MARIE G	2431	MAGNOLIA AV W	SAN ANTONIO, TX 78228
ALANIZ, TIMOTHY D	2435	MAGNOLIA AV W	SAN ANTONIO, TX 78228
ROSS, CHAS E & ANN MARTHA	2439	MAGNOLIA AV W	SAN ANTONIO, TX 78228
LARA, MIGUEL O & MARIA	2443	MAGNOLIA AV W	SAN ANTONIO, TX 78228
AGUILAR, CARRIE M	2447	MAGNOLIA AV W	SAN ANTONIO, TX 78228
HERNANDEZ, DORA ETAL	2451	MAGNOLIA AV W	SAN ANTONIO, TX 78228
GARZA, RACHEL	2455	MAGNOLIA AV W	SAN ANTONIO, TX 78228
FITE INVESTMENTS LTD PTSHP	909	MANOR	SAN ANTONIO, TX 78228
MORIN, DAVID TRUSTEE	910	MANOR	SAN ANTONIO, TX 78228
STARR, ROBERT M & BERNARD K WEINER	915	MANOR	SAN ANTONIO, TX 78228
FERRO, JOSEPH A	904	MANOR	SAN ANTONIO, TX 78228
RODRIGUEZ, MARY ANN	908	MANOR	SAN ANTONIO, TX 78228
VILLAREAL, SANTIAGO J	100	MC NEEL	SAN ANTONIO, TX 78228
CABRERA, ANTONIO SANDOVAL JR	103	MC NEEL	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
SALINAS, ALBERTO R & ISABEL	107 MC NEEL	SAN ANTONIO, TX	78228
QUESENBERRY, MARGARET	110 MC NEEL	SAN ANTONIO, TX	78228
VANNESS, MARY ANN	111 MC NEEL	SAN ANTONIO, TX	78228
CAIN, M MARGERITE	114 MC NEEL	SAN ANTONIO, TX	78228
CASTILLO, HENRY EDWARD & AMELIA G	115 MC NEEL	SAN ANTONIO, TX	78228
BERRY, GEORGIA VAIDEN	118 MC NEEL	SAN ANTONIO, TX	78228
NINO, EDWARD & GLORIA	119 MC NEEL	SAN ANTONIO, TX	78228
TAPIA, EDWARD	120 MC NEEL	SAN ANTONIO, TX	78228
RICHERT, EDWARD R	123 MC NEEL	SAN ANTONIO, TX	78228
MARTINEZ, ROBERT J & GLORIA	126 MC NEEL	SAN ANTONIO, TX	78228
RAMIREZ, GREGG J & DOLORES A	127 MC NEEL	SAN ANTONIO, TX	78228
MORENO, ALEX L	130 MC NEEL	SAN ANTONIO, TX	78228
BUENROSTRO, TOM JR & DARLINE	131 MC NEEL	SAN ANTONIO, TX	78228
SOLIS, DENISE L & JESSE	134 MC NEEL	SAN ANTONIO, TX	78228
WARD, CAROL PHIL	135 MC NEEL	SAN ANTONIO, TX	78228
AYON, DAVID A & MARY ALICE TEVENI	138 MC NEEL	SAN ANTONIO, TX	78228
QUINTERO, JESSE JR & EDNA	142 MC NEEL	SAN ANTONIO, TX	78228
PALACIOS, INEZ Q	146 MC NEEL	SAN ANTONIO, TX	78228
BERNAL, JOSE & ESTELLA	150 MC NEEL	SAN ANTONIO, TX	78228
LISERIO, JOSE H & MARGARET	153 MC NEEL	SAN ANTONIO, TX	78228
PONCE, ROBERT E & DIANA H	154 MC NEEL	SAN ANTONIO, TX	78228
AVILA, AUGUSTIN & OLIVIA D	157 MC NEEL	SAN ANTONIO, TX	78228
ESTRADA, VIRGILIO S & MARY E	109 MEREDITH	SAN ANTONIO, TX	78228
GARZA, ANTONIO S	110 MEREDITH	SAN ANTONIO, TX	78228
DELEON, JOHN A	113 MEREDITH	SAN ANTONIO, TX	78228
WATSON, JERROLD W & BARBARA	116 MEREDITH	SAN ANTONIO, TX	78228
ROGERS, REGINA	119 MEREDITH	SAN ANTONIO, TX	78228
ANGUIANO, DIANE E	120 MEREDITH	SAN ANTONIO, TX	78228
SPURLIN, EVALINE M	123 MEREDITH	SAN ANTONIO, TX	78228
MARTINEZ, DAVID A & PATRICA V	126 MEREDITH	SAN ANTONIO, TX	78228
KNAPP, ALICE A	127 MEREDITH	SAN ANTONIO, TX	78228
BUTLER, GEORGE W & MASEDONIA	128 MEREDITH	SAN ANTONIO, TX	78228
GOMEZ, GILBERT & DIANA	131 MEREDITH	SAN ANTONIO, TX	78228
SALINAS, RAFAEL N & EVA M	132 MEREDITH	SAN ANTONIO, TX	78228
PEREZ, CARLOS P & OFILLA F	135 MEREDITH	SAN ANTONIO, TX	78228
CORPUS, MARTHA S	136 MEREDITH	SAN ANTONIO, TX	78228
ARNOLD, DANNY R	141 MEREDITH	SAN ANTONIO, TX	78228
RIVAS, CHARLES E	142 MEREDITH	SAN ANTONIO, TX	78228
GONZALES, ELVA	143 MEREDITH	SAN ANTONIO, TX	78228
DIAZ, ANTONIO M & SHIRLEY R	147 MEREDITH	SAN ANTONIO, TX	78228
SHERRIN, PAMELA J	151 MEREDITH	SAN ANTONIO, TX	78228
SAN ANTONIO FIRST MEXICAN	201 MEREDITH	SAN ANTONIO, TX	78228
SAN ANTONIO FIRST MEXICAN	303 MEREDITH	SAN ANTONIO, TX	78228
MORA, PABLO BURCIAGA	306 MEREDITH	SAN ANTONIO, TX	78228
ROCA, ANGELA L & ANDREW	311 MEREDITH	SAN ANTONIO, TX	78228
TEAGUE, LYLE L	312 MEREDITH	SAN ANTONIO, TX	78228
LARA, BENJAMIN F & MINERVA L	316 MEREDITH	SAN ANTONIO, TX	78228
MCROBERTS, VINETTA FREEMAN	319 MEREDITH	SAN ANTONIO, TX	78228
PEREZ, MARIA GRACE	320 MEREDITH	SAN ANTONIO, TX	78228
GUTIERREZ, ALFREDO & NORMA	323 MEREDITH	SAN ANTONIO, TX	78228
URRUTIA, JOE G & EVELYN D	324 MEREDITH	SAN ANTONIO, TX	78228
DELAGARZA, EDNA L & NORMA L CANTU	327 MEREDITH	SAN ANTONIO, TX	78228

PROPERTY OWNER		PROPERTY ADDRESS	
SHEFF, GREGORY S & SARAH BUTTREY	328	MEREDITH	SAN ANTONIO, TX 78228
BLAIR, KENNETH W & MARY LOU	331	MEREDITH	SAN ANTONIO, TX 78228
CRATER, CLINTON & ELIZABETH	332	MEREDITH	SAN ANTONIO, TX 78228
GARCIA, GREGORY J	335	MEREDITH	SAN ANTONIO, TX 78228
GARCIA, JANIE B	336	MEREDITH	SAN ANTONIO, TX 78228
SOLIS, ROLAND L & KANDIS A	341	MEREDITH	SAN ANTONIO, TX 78228
KEYTON, CHARLES W JR	342	MEREDITH	SAN ANTONIO, TX 78228
WACHTENDORF, ELAINE	345	MEREDITH	SAN ANTONIO, TX 78228
FRANTZ, DOUGLAS C	346	MEREDITH	SAN ANTONIO, TX 78228
DRACOS, PATTI S	349	MEREDITH	SAN ANTONIO, TX 78228
REED, JO ANN	350	MEREDITH	SAN ANTONIO, TX 78228
JOHNSON, M GALE	353	MEREDITH	SAN ANTONIO, TX 78228
SAUCEDO, RICHARD R & YVONNE	354	MEREDITH	SAN ANTONIO, TX 78228
RAIFORD, ANDREW N & CRISTIN L	357	MEREDITH	SAN ANTONIO, TX 78228
MARTINEZ, JUAN	358	MEREDITH	SAN ANTONIO, TX 78228
STAPLES, PAUL M & LAURIE SCHMIDT	361	MEREDITH	SAN ANTONIO, TX 78228
FULMER, H MICHAEL & DIANA R	362	MEREDITH	SAN ANTONIO, TX 78228
WHITEHEAD, MYLES K	365	MEREDITH	SAN ANTONIO, TX 78228
MIRON, DAVID H & BONNIE	366	MEREDITH	SAN ANTONIO, TX 78228
GUADIANO, STEVEN P	369	MEREDITH	SAN ANTONIO, TX 78228
BURKE, KATHLEEN G	370	MEREDITH	SAN ANTONIO, TX 78228
LOMELI, ELISEDO & RUTH	374	MEREDITH	SAN ANTONIO, TX 78228
LOZANO, SUSANA L	375	MEREDITH	SAN ANTONIO, TX 78228
GARCIA, JESUS G & NINFA	378	MEREDITH	SAN ANTONIO, TX 78228
LLANES, MARY A	381	MEREDITH	SAN ANTONIO, TX 78228
DROZD, FREDILENE ANN	382	MEREDITH	SAN ANTONIO, TX 78228
NEUGEBAUER, FRANCES L	386	MEREDITH	SAN ANTONIO, TX 78228
FULMER, MICHAEL H & MARGARET	387	MEREDITH	SAN ANTONIO, TX 78228
LEAL, LYDIA G	389	MEREDITH	SAN ANTONIO, TX 78228
RADIGAN, TRACEY M & RICHARD J	401	MEREDITH	SAN ANTONIO, TX 78228
PADILLA, THERESA C	402	MEREDITH	SAN ANTONIO, TX 78228
MORALES, GILBERTO & DOLORES	406	MEREDITH	SAN ANTONIO, TX 78228
FERNANDEZ, REBECCA ANN	407	MEREDITH	SAN ANTONIO, TX 78228
LOPEZ, ARMANDO M JR	411	MEREDITH	SAN ANTONIO, TX 78228
MAZUCA, TIMOTHY J & DIANE M	415	MEREDITH	SAN ANTONIO, TX 78228
PEREZ, CARLOS & MARIA J	416	MEREDITH	SAN ANTONIO, TX 78228
DOMINGUEZ, TAVITA V	418	MEREDITH	SAN ANTONIO, TX 78228
BARRAZA, RUBEN & MELISSA G	426	MEREDITH	SAN ANTONIO, TX 78228
MAURER, KAYCI L & CECILIO HERRERA JR	430	MEREDITH	SAN ANTONIO, TX 78228
KELLER, LUVERNE D & JULIUS J KELLER	434	MEREDITH	SAN ANTONIO, TX 78228
RATLIFF, A L & WILLIE IRMA	438	MEREDITH	SAN ANTONIO, TX 78228
FLORES, JUAN F & MARIA	102	MEREDITH	SAN ANTONIO, TX 78228
MENCHACA, RICHARD O & ANNIE M	106	MEREDITH	SAN ANTONIO, TX 78228
AGUILAR, MIGUEL & STELLA	2302	MISTLETOE AV W	SAN ANTONIO, TX 78201
BERNAL, SANTANA & AURORA	2303	MISTLETOE AV W	SAN ANTONIO, TX 78201
MENDOZA, ROMAN B	2306	MISTLETOE AV W	SAN ANTONIO, TX 78201
ARCOS, SIMON C & JOSLYNN Y	2307	MISTLETOE AV W	SAN ANTONIO, TX 78201
GONZALEZ, DELLA E	2310	MISTLETOE AV W	SAN ANTONIO, TX 78201
LUTZ, C J & MARY	2311	MISTLETOE AV W	SAN ANTONIO, TX 78201
SANTANA, DEBBIE	2314	MISTLETOE AV W	SAN ANTONIO, TX 78201
LOVELACE, HARRIS G & BETTY	2315	MISTLETOE AV W	SAN ANTONIO, TX 78201
KING, PI FONG	2318	MISTLETOE AV W	SAN ANTONIO, TX 78201

PROPERTY OWNER	PROPERTY ADDRESS
GUTIERREZ, MARY T	2319 MISTLETOE AV W SAN ANTONIO, TX 78201
QUINTERO, PASCUAL L & LUCILLE	2323 MISTLETOE AV W SAN ANTONIO, TX 78201
ROMERO, RICARDO	2327 MISTLETOE AV W SAN ANTONIO, TX 78201
MERCADO, TORIVIO P & MARGARET L	2402 MISTLETOE AV W SAN ANTONIO, TX 78228
ZAVALA, JESUS O & JULIA A	2403 MISTLETOE AV W SAN ANTONIO, TX 78228
TOBIAS, SEFERINO G & DELIA	2406 MISTLETOE AV W SAN ANTONIO, TX 78228
HUTSON, BOB G & BARBARA J	2407 MISTLETOE AV W SAN ANTONIO, TX 78228
WYATT, RONALD F	2410 MISTLETOE AV W SAN ANTONIO, TX 78228
SIMPSON, MAZIE H	2411 MISTLETOE AV W SAN ANTONIO, TX 78228
CORTEZ, JOHN R & CHRISTINA R	2414 MISTLETOE AV W SAN ANTONIO, TX 78228
FLORES, BERNABE G JR & ELVIRA Z	2415 MISTLETOE AV W SAN ANTONIO, TX 78228
ESPINO, DIANA	2418 MISTLETOE AV W SAN ANTONIO, TX 78228
PARRAL, JAVIER & ANITA L	2419 MISTLETOE AV W SAN ANTONIO, TX 78228
CRAWFORD, RANSOME & ARTIE	2422 MISTLETOE AV W SAN ANTONIO, TX 78228
VAN BRANDT, ROBERT & RACHEL T	2423 MISTLETOE AV W SAN ANTONIO, TX 78228
MATHIS, JAMES W & EVANGELINE C	2426 MISTLETOE AV W SAN ANTONIO, TX 78228
TORRES, JOSE ANGEL C	2427 MISTLETOE AV W SAN ANTONIO, TX 78228
MIRELES, JOHN A & VIRGINIA S	2430 MISTLETOE AV W SAN ANTONIO, TX 78228
GUTIERREZ, SERAFIN & CARLOTA	2431 MISTLETOE AV W SAN ANTONIO, TX 78228
GARZA, MARY C & ANDREW	2434 MISTLETOE AV W SAN ANTONIO, TX 78228
MIALKOWSKI, ANDREW R	2435 MISTLETOE AV W SAN ANTONIO, TX 78228
BARRIENTEZ, RUTH	2438 MISTLETOE AV W SAN ANTONIO, TX 78228
GAMEZ, CARMEN B	2439 MISTLETOE AV W SAN ANTONIO, TX 78228
AMAYA, DAVID R & NORA	2502 MISTLETOE AV W SAN ANTONIO, TX 78228
CAMPA, TONY L & AURORA	2506 MISTLETOE AV W SAN ANTONIO, TX 78228
LEARY, MARIE	2510 MISTLETOE AV W SAN ANTONIO, TX 78228
SANDOVAL, MANUEL & JULIA	2514 MISTLETOE AV W SAN ANTONIO, TX 78228
SALAZAR, GUSTAVO	2518 MISTLETOE AV W SAN ANTONIO, TX 78228
TRISTAN, ORALIA	2522 MISTLETOE AV W SAN ANTONIO, TX 78228
DE LA ROSA, TONY B & NOEMI	2526 MISTLETOE AV W SAN ANTONIO, TX 78228
MARTINEZ, ELOISA R	2530 MISTLETOE AV W SAN ANTONIO, TX 78228
LOCKHART, SAMUESTA	2534 MISTLETOE AV W SAN ANTONIO, TX 78228
FLORES, GUILLERMO & JULIE	2538 MISTLETOE AV W SAN ANTONIO, TX 78228
FLORES, GUSTAVO P & ANGELITA	2542 MISTLETOE AV W SAN ANTONIO, TX 78228
NELSON, ROBIN A & MARIA E	2601 MISTLETOE AV W SAN ANTONIO, TX 78228
WILKINS, IRENE F	2615 MISTLETOE AV W SAN ANTONIO, TX 78228
WILKINS, IRENE F	2615 MISTLETOE AV W SAN ANTONIO, TX 78228
BARRON, LAURA D	2621 MISTLETOE AV W SAN ANTONIO, TX 78228
GRACIANO, JOSE H	2622 MISTLETOE AV W SAN ANTONIO, TX 78228
PREAP, LOEUN & REM	2623 MISTLETOE AV W SAN ANTONIO, TX 78228
SANDOVAL, ADELITA	2626 MISTLETOE AV W SAN ANTONIO, TX 78228
HERRERA, ROBERT A & SUSAN K	2627 MISTLETOE AV W SAN ANTONIO, TX 78228
CASTILLO, GLORIA B	2630 MISTLETOE AV W SAN ANTONIO, TX 78228
GONZALEZ, ALONZO	2631 MISTLETOE AV W SAN ANTONIO, TX 78228
MANRIQUE, MANUEL A & MARGARITA R	2634 MISTLETOE AV W SAN ANTONIO, TX 78228
ZAMORA, ROGELIO G & MARIA	2635 MISTLETOE AV W SAN ANTONIO, TX 78228
PENA, NELLY	2638 MISTLETOE AV W SAN ANTONIO, TX 78228
CERVANTES, MARCO	2639 MISTLETOE AV W SAN ANTONIO, TX 78228
DEL CASTILLO, OSCAR	2642 MISTLETOE AV W SAN ANTONIO, TX 78228
MORAN, VELIA	2643 MISTLETOE AV W SAN ANTONIO, TX 78228
ALONZO, SIMON ARMANDO R & NELLIE R	2646 MISTLETOE AV W SAN ANTONIO, TX 78228
ALVARADO, ROMAN R & CATHERINE	2647 MISTLETOE AV W SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
DELUNA, ERWIN J & ROSE D	2650	MISTLETOE AV W	SAN ANTONIO, TX 78228
RAMON, ISMAEL L JR & MARY L	2651	MISTLETOE AV W	SAN ANTONIO, TX 78228
FLORES, ROSALIA R	2654	MISTLETOE AV W	SAN ANTONIO, TX 78228
HERNANDEZ, ALBERTO C & LUPE	2703	MISTLETOE AV W	SAN ANTONIO, TX 78228
RAMIREZ, JOSE & GRISELDA P	2704	MISTLETOE AV W	SAN ANTONIO, TX 78228
HERNANDEZ, PATRICIA	2706	MISTLETOE AV W	SAN ANTONIO, TX 78228
TOLEDO, OLGA	2707	MISTLETOE AV W	SAN ANTONIO, TX 78228
RANGEL, TRINIDAD & SYLVIA	2709	MISTLETOE AV W	SAN ANTONIO, TX 78228
DELOSSANTOS, DIANA C	2710	MISTLETOE AV W	SAN ANTONIO, TX 78228
HENDERSON, CHARLES B	2713	MISTLETOE AV W	SAN ANTONIO, TX 78228
STAKES, JUAN & BENICIA	2714	MISTLETOE AV W	SAN ANTONIO, TX 78228
A & F PROPERTIES INC	2721	MISTLETOE AV W	SAN ANTONIO, TX 78228
SUNIGA, RAYMOND R & AMPARO	2722	MISTLETOE AV W	SAN ANTONIO, TX 78228
CORONA, LOUIS L & SULEMA F	2723	MISTLETOE AV W	SAN ANTONIO, TX 78228
ACOSTA, LETICIA O	2726	MISTLETOE AV W	SAN ANTONIO, TX 78228
SANCHEZ, ADRIAN JR & CANDELARIA	2727	MISTLETOE AV W	SAN ANTONIO, TX 78228
CASTILLEJA, JIMMY C	2730	MISTLETOE AV W	SAN ANTONIO, TX 78228
GARCIA, ANGELA	2731	MISTLETOE AV W	SAN ANTONIO, TX 78228
CARBAJAL, JOSE M & ENRIQUETA G	2736	MISTLETOE AV W	SAN ANTONIO, TX 78228
TORRES, JESSE & EULALIA M	2738	MISTLETOE AV W	SAN ANTONIO, TX 78228
TREVINO, CECILIO J	2739	MISTLETOE AV W	SAN ANTONIO, TX 78228
GARCIA, TERESA CAROL	2802	MISTLETOE AV W	SAN ANTONIO, TX 78228
MARTINEZ, JAVIER JUAN	2803	MISTLETOE AV W	SAN ANTONIO, TX 78228
GARCIA, DAVID F	2807	MISTLETOE AV W	SAN ANTONIO, TX 78228
GARZA, PABLO R	2810	MISTLETOE AV W	SAN ANTONIO, TX 78228
SALAZAR, JOSE & ROSE MARIE	2811	MISTLETOE AV W	SAN ANTONIO, TX 78228
ORTIZ, RICHARD A	2814	MISTLETOE AV W	SAN ANTONIO, TX 78228
GOMEZ, JOE A & BERNARDINE	2815	MISTLETOE AV W	SAN ANTONIO, TX 78228
GONZALES, FRANK TREVINO	2818	MISTLETOE AV W	SAN ANTONIO, TX 78228
BROOK, ROBERT B & IVY	2822	MISTLETOE AV W	SAN ANTONIO, TX 78228
SANDOVAL, OLIVA S	2823	MISTLETOE AV W	SAN ANTONIO, TX 78228
RODRIGUEZ, PEDRO & CONSUELO	2824	MISTLETOE AV W	SAN ANTONIO, TX 78228
HARTLE, ROBERT H & MARY M	2827	MISTLETOE AV W	SAN ANTONIO, TX 78228
KLONEK, JOE O	2829	MISTLETOE AV W	SAN ANTONIO, TX 78228
MENDOZA, ENRIQUE & GLENDA	2830	MISTLETOE AV W	SAN ANTONIO, TX 78228
ELIZONDO, MAX	2834	MISTLETOE AV W	SAN ANTONIO, TX 78228
GARZA, RAMON & HERMINIA	2835	MISTLETOE AV W	SAN ANTONIO, TX 78228
ARIZPE, ROGER & MARY ESTHER	2837	MISTLETOE AV W	SAN ANTONIO, TX 78228
CHAVEZ, THERESA P	2838	MISTLETOE AV W	SAN ANTONIO, TX 78228
FEST, E F SR & DORIS M	2842	MISTLETOE AV W	SAN ANTONIO, TX 78228
SANCHEZ, MERLE M	2845	MISTLETOE AV W	SAN ANTONIO, TX 78228
EDWARDS, DAVID A.	2306	MULBERRY AV W	SAN ANTONIO, TX 78201
ROHR, J E ROBERT & ARMIDA	2312	MULBERRY AV W	SAN ANTONIO, TX 78201
CARRILLO, HECTOR & GRACE H	2316	MULBERRY AV W	SAN ANTONIO, TX 78201
FLORES, ANNE MEDELLIN	2322	MULBERRY AV W	SAN ANTONIO, TX 78201
FUENTES, MICHAEL A	2328	MULBERRY AV W	SAN ANTONIO, TX 78201
RUIZ, RUBEN E & PATRICIA A	2334	MULBERRY AV W	SAN ANTONIO, TX 78201
RUIZ, GREGORIO G & AMELIA E	2340	MULBERRY AV W	SAN ANTONIO, TX 78201
TORRES, CARMEN R	2346	MULBERRY AV W	SAN ANTONIO, TX 78201
URRUTIA, ABEL U & FEDORA	2352	MULBERRY AV W	SAN ANTONIO, TX 78201
ELIZONDO, JERRY	2358	MULBERRY AV W	SAN ANTONIO, TX 78201
PARIN, LISA ORTEGON	2364	MULBERRY AV W	SAN ANTONIO, TX 78201

PROPERTY OWNER		PROPERTY ADDRESS		
GUERRERO, JUANITO & NATALIE	2370	MULBERRY AV W	SAN ANTONIO, TX	78201
MEDINA, MARTHA & HONORATO V MARTINEZ	2376	MULBERRY AV W	SAN ANTONIO, TX	78201
GARCIA, WILLIAM & EVA M	2382	MULBERRY AV W	SAN ANTONIO, TX	78201
GONZALEZ, MARIA DEL CARMEN	2388	MULBERRY AV W	SAN ANTONIO, TX	78201
CASAREZ, PEDRO JR & CHRISTINE	2394	MULBERRY AV W	SAN ANTONIO, TX	78201
MORQUECHO, LUIS & JULIA S	2398	MULBERRY AV W	SAN ANTONIO, TX	78201
GARZA, JOE GUZMAN & DESIDERIA H	2401	MULBERRY AV W	SAN ANTONIO, TX	78228
MARTINEZ, GABRIEL & JENNIFER VASQUEZ	2402	MULBERRY AV W	SAN ANTONIO, TX	78228
STRICKO, ANDREW J & BETTY J ELLIS	2405	MULBERRY AV W	SAN ANTONIO, TX	78228
BUITRON, JOANN CADENA	2406	MULBERRY AV W	SAN ANTONIO, TX	78228
JIMENEZ, MARGARITO C & ROSA	2409	MULBERRY AV W	SAN ANTONIO, TX	78228
DELATORRE, JIMMY	2410	MULBERRY AV W	SAN ANTONIO, TX	78228
RODRIGUEZ, RUTH A	2415	MULBERRY AV W	SAN ANTONIO, TX	78228
NORIEGA, JANIE B & RAUL RODRIGUEZ	2416	MULBERRY AV W	SAN ANTONIO, TX	78228
POMPA, RODOLFO & ESTHER V	2422	MULBERRY AV W	SAN ANTONIO, TX	78228
MCSWAIN, SUSANA N & RICHARD C	2423	MULBERRY AV W	SAN ANTONIO, TX	78228
TINGLE, JAY P JR & DELL C	2428	MULBERRY AV W	SAN ANTONIO, TX	78228
GARCIA, FRANK L	2429	MULBERRY AV W	SAN ANTONIO, TX	78228
ROMERO, JESSE C & ANA ALICIA	2434	MULBERRY AV W	SAN ANTONIO, TX	78228
LARA, JOHN ARTHUR	2435	MULBERRY AV W	SAN ANTONIO, TX	78228
MARTINEZ, BENITO C & LAURA E	2440	MULBERRY AV W	SAN ANTONIO, TX	78228
CASTILLA, REBECCA M	2441	MULBERRY AV W	SAN ANTONIO, TX	78228
SANCHEZ, HENRY O & MARIA T	2446	MULBERRY AV W	SAN ANTONIO, TX	78228
EMMETT, CHRISTINA R	2447	MULBERRY AV W	SAN ANTONIO, TX	78228
DIAZ, JUAN C & CATHERINE M	2450	MULBERRY AV W	SAN ANTONIO, TX	78228
MENDEZ, ROSA G	2451	MULBERRY AV W	SAN ANTONIO, TX	78228
DEAN, BEATRIZ Z	2448	MULBERRY AV W	SAN ANTONIO, TX	78228
SOLIS, MARCELINO JR & PAULA	2455	MULBERRY AV W	SAN ANTONIO, TX	78228
PANIAGUA, ROGELIO & GENOVIEVE	2502	MULBERRY AV W	SAN ANTONIO, TX	78228
IZBINSKI, RICHARD	2503	MULBERRY AV W	SAN ANTONIO, TX	78228
ROSALES, JESSE & JOYCE	2506	MULBERRY AV W	SAN ANTONIO, TX	78228
HINOJOSA, JOSE & WIFE	2510	MULBERRY AV W	SAN ANTONIO, TX	78228
VELASQUEZ, STELLA L	2511	MULBERRY AV W	SAN ANTONIO, TX	78228
RAMIREZ, LILLIAN	2514	MULBERRY AV W	SAN ANTONIO, TX	78228
MIGURA, CHARLES LEE & BOBBIE KAY	2515	MULBERRY AV W	SAN ANTONIO, TX	78228
BENAVIDES, JOSEPH E & INES L	2518	MULBERRY AV W	SAN ANTONIO, TX	78228
CRUZ, MARY DELIA	2519	MULBERRY AV W	SAN ANTONIO, TX	78228
FELAN, IRENE S	2522	MULBERRY AV W	SAN ANTONIO, TX	78228
GROSS, DAVID L	2523	MULBERRY AV W	SAN ANTONIO, TX	78228
SALAZAR, STELLA T	2526	MULBERRY AV W	SAN ANTONIO, TX	78228
BRADY, FRANK W	2527	MULBERRY AV W	SAN ANTONIO, TX	78228
HOWETH, WOODFING & B A	2530	MULBERRY AV W	SAN ANTONIO, TX	78228
ZERTUCHE, MARCOS	2531	MULBERRY AV W	SAN ANTONIO, TX	78228
LOPEZ, JOSE L & ROSALBA OROZCO	2534	MULBERRY AV W	SAN ANTONIO, TX	78228
LOPEZ, GUADALUPE M III	2535	MULBERRY AV W	SAN ANTONIO, TX	78228
FARIAS, FELIZ C & LYDIA M	2539	MULBERRY AV W	SAN ANTONIO, TX	78228
PRADO, GUSTAVO B & MARIA	2543	MULBERRY AV W	SAN ANTONIO, TX	78228
CORTEZ, FERNANDO & ALICIA C	2547	MULBERRY AV W	SAN ANTONIO, TX	78228
ZAPATA, JOSE C	2603	MULBERRY AV W	SAN ANTONIO, TX	78228
MARTINEZ, RAYNALDO J & SANDRA	2607	MULBERRY AV W	SAN ANTONIO, TX	78228
RODRIGUEZ, ROQUE JR	2611	MULBERRY AV W	SAN ANTONIO, TX	78228
SCHWARTZ, RASHE & MAXIENE GASKIN-SCHWARTZ	2615	MULBERRY AV W	SAN ANTONIO, TX	78228

PROPERTY OWNER	PROPERTY ADDRESS
BLANCO, FRANCISCO JR & MARIA	2619 MULBERRY AV W SAN ANTONIO, TX 78228
MUNOZ, PHILLIP	2623 MULBERRY AV W SAN ANTONIO, TX 78228
RUIZ, ANDRES & GUADALUPE S	2627 MULBERRY AV W SAN ANTONIO, TX 78228
LOPEZ, DOLORES	2631 MULBERRY AV W SAN ANTONIO, TX 78228
GUERRA, ENRIQUE M & MARIA C	2635 MULBERRY AV W SAN ANTONIO, TX 78228
SALDANA, BENITA	2639 MULBERRY AV W SAN ANTONIO, TX 78228
ALANIS, RICARDO G & DIANE U	2645 MULBERRY AV W SAN ANTONIO, TX 78228
DEHOYOS, ROSELVA C & LOUIS A	2649 MULBERRY AV W SAN ANTONIO, TX 78228
LEIVA, DAVID & REBECCA A MARTINEZ	2653 MULBERRY AV W SAN ANTONIO, TX 78228
GARZA, MARY HELEN GONZALES	2663 MULBERRY AV W SAN ANTONIO, TX 78228
BERNAL, DAVID G & CONSUELO M	2667 MULBERRY AV W SAN ANTONIO, TX 78228
TREVINO, ARMANDO C & MARIA E	2671 MULBERRY AV W SAN ANTONIO, TX 78228
MARTINEZ, RAYMOND C	103 ROSEMONT SAN ANTONIO, TX 78228
RAMIREZ, JUAN	106 ROSEMONT SAN ANTONIO, TX 78228
CONNAWAY, JERRY N L/TR	110 ROSEMONT SAN ANTONIO, TX 78228
LUNA, JUAN T & GLORIA ANN	111 ROSEMONT SAN ANTONIO, TX 78228
RODRIGUEZ, RAUL H & CELIA S	114 ROSEMONT SAN ANTONIO, TX 78228
CULBRETH, SUE D	115 ROSEMONT SAN ANTONIO, TX 78228
FLORES, THOMAS & EUDELIA	118 ROSEMONT SAN ANTONIO, TX 78228
STURROCK, SUSAN J	119 ROSEMONT SAN ANTONIO, TX 78228
CUELLAR, CARLOS B & BETTY D	122 ROSEMONT SAN ANTONIO, TX 78228
SALAZAR, DOLORES A	123 ROSEMONT SAN ANTONIO, TX 78228
ARISPE, MARY ALICE & EINO ZAPATA	126 ROSEMONT SAN ANTONIO, TX 78228
PANTOJA, IRENE V	127 ROSEMONT SAN ANTONIO, TX 78228
SIDIME-DAVID, AISSATOU & THEODORE A DAVID JR	130 ROSEMONT SAN ANTONIO, TX 78228
FLORES, DANIEL R & YOLANDA V	131 ROSEMONT SAN ANTONIO, TX 78228
GONZALEZ, ANDREW J	134 ROSEMONT SAN ANTONIO, TX 78228
PERALES, RAYMOND ALFONSO	135 ROSEMONT SAN ANTONIO, TX 78228
ARANDA, FELIPE & DOLORES G	138 ROSEMONT SAN ANTONIO, TX 78228
HERNANDEZ, GLORIA E	139 ROSEMONT SAN ANTONIO, TX 78228
GARZA, MARIA AMELIA	142 ROSEMONT SAN ANTONIO, TX 78228
WITT, RICHARD B & THERESA A CENA	145 ROSEMONT SAN ANTONIO, TX 78228
MARTINEZ, REYES S & IRENE H	146 ROSEMONT SAN ANTONIO, TX 78228
RALEY, MARY R	149 ROSEMONT SAN ANTONIO, TX 78228
MARTINEZ, ORALIA M	150 ROSEMONT SAN ANTONIO, TX 78228
FERRO, FRANCES F	153 ROSEMONT SAN ANTONIO, TX 78228
LEWIS, FRED E. & MARGUERITE	154 ROSEMONT SAN ANTONIO, TX 78228
FUENTES, FLORINE G	158 ROSEMONT SAN ANTONIO, TX 78228
ESQUIVEL, JESSE & YOLANDA W	159 ROSEMONT SAN ANTONIO, TX 78228
HERNDON, LUCILLE H.	162 ROSEMONT SAN ANTONIO, TX 78228
GRIJALVA, FRANK M & LAURA K	163 ROSEMONT SAN ANTONIO, TX 78228
GARZA, MARIA A	166 ROSEMONT SAN ANTONIO, TX 78228
RAMIREZ, ISAAC & MARGARET C	167 ROSEMONT SAN ANTONIO, TX 78228
GREGOIRE, MICHAEL F & DOLORES ANN	170 ROSEMONT SAN ANTONIO, TX 78228
VAZQUEZ LIVING TRUST	171 ROSEMONT SAN ANTONIO, TX 78228
ALFARO, FELICIA V	202 ROSEMONT SAN ANTONIO, TX 78228
GILPIN, ALVA LOUISE	203 ROSEMONT SAN ANTONIO, TX 78228
FLORES, DANIEL A & ALICIA C	206 ROSEMONT SAN ANTONIO, TX 78228
VIDAL, RUBEN A	207 ROSEMONT SAN ANTONIO, TX 78228
COHEN, BERNARD B & RUTH	210 ROSEMONT SAN ANTONIO, TX 78228
HARDIN, BETTY JEAN	211 ROSEMONT SAN ANTONIO, TX 78228
NIXON, LAVAUGHN B	215 ROSEMONT SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
GONZALES, ROBERT JR & GLADYS	219	ROSEMONT	SAN ANTONIO, TX 78228
BANDA, ERNEST SR & MARY J	221	ROSEMONT	SAN ANTONIO, TX 78228
BANDA, ERNEST JR	225	ROSEMONT	SAN ANTONIO, TX 78228
FINGER, LEONA H	229	ROSEMONT	SAN ANTONIO, TX 78228
DELEON, MICHAEL A. & MARIA V	233	ROSEMONT	SAN ANTONIO, TX 78228
HERNANDEZ, DOMINGO R & ROSE MARY L	237	ROSEMONT	SAN ANTONIO, TX 78228
BOEKHOUT, CECILIA M	238	ROSEMONT	SAN ANTONIO, TX 78228
GALLEGOS, FRANK R	242	ROSEMONT	SAN ANTONIO, TX 78228
REYNA, HUBERTO S & CANDELARIA P	243	ROSEMONT	SAN ANTONIO, TX 78228
GALLEGOS, RAYMOND & BETTY J	246	ROSEMONT	SAN ANTONIO, TX 78228
HERNANDEZ, ARTURO G	247	ROSEMONT	SAN ANTONIO, TX 78228
GONZALES, NICHOLAS & HELEN C	250	ROSEMONT	SAN ANTONIO, TX 78228
URESTI, TRINE C	251	ROSEMONT	SAN ANTONIO, TX 78228
SIEBENHAUSEN, ROSE MARIE	254	ROSEMONT	SAN ANTONIO, TX 78228
FLORES, ALBERT JR & RUTH	255	ROSEMONT	SAN ANTONIO, TX 78228
RUIZ, LOUIS R & GLORIA S	258	ROSEMONT	SAN ANTONIO, TX 78228
LOPEZ, MICHAEL L & MARIA E	259	ROSEMONT	SAN ANTONIO, TX 78228
BEAM, WILLIAM S & MELISSA A	262	ROSEMONT	SAN ANTONIO, TX 78228
MARCINOWSKI, JEANETTE	263	ROSEMONT	SAN ANTONIO, TX 78228
SANDIFER, MARY E	266	ROSEMONT	SAN ANTONIO, TX 78228
ESPINOZA, ARNULFO JR & YOLA	267	ROSEMONT	SAN ANTONIO, TX 78228
REYNA, HUMBERTO	270	ROSEMONT	SAN ANTONIO, TX 78228
MUNGUIA, RUBEN & MARTHA I	273	ROSEMONT	SAN ANTONIO, TX 78228
GONZALEZ, NINFA T	274	ROSEMONT	SAN ANTONIO, TX 78228
GONZALES, JACINTA	277	ROSEMONT	SAN ANTONIO, TX 78228
VINTON, DEBRA E	102	ROSEMONT	SAN ANTONIO, TX 78228
LUNA, IRMA F & ARMANDO F	122	SENISA	SAN ANTONIO, TX 78228
STEIN, LUCILLE ADORNO	130	SENISA	SAN ANTONIO, TX 78228
CASTRO, YOLANDA B	140	SENISA	SAN ANTONIO, TX 78228
GARCIA, JOSE & BLANCA R	202	SENISA	SAN ANTONIO, TX 78228
MAHAN, STEPHEN R & ANASTASIA	206	SENISA	SAN ANTONIO, TX 78228
TAMEZ, LOUIS S & BERTHA T	210	SENISA	SAN ANTONIO, TX 78228
WILSON, MARIA A	214	SENISA	SAN ANTONIO, TX 78228
GARZA, FRED	218	SENISA	SAN ANTONIO, TX 78228
MORALES, JESSE B & MARY M	226	SENISA	SAN ANTONIO, TX 78228
PETROWICH, ROSE L	227	SENISA	SAN ANTONIO, TX 78228
YAMPOLSKY, LOUISE	230	SENISA	SAN ANTONIO, TX 78228
ENG PROPERTIES INC	231	SENISA	SAN ANTONIO, TX 78228
YOUNGER, MARY ELIZABETH	233	SENISA	SAN ANTONIO, TX 78228
EVANS, LEE ANN ETAL	234	SENISA	SAN ANTONIO, TX 78228
GONZALEZ, ROQUE A & YOLANDA	237	SENISA	SAN ANTONIO, TX 78228
LEVINE, HERMAN R & JEAN	238	SENISA	SAN ANTONIO, TX 78228
EVANS, LEE ANN ETAL	242	SENISA	SAN ANTONIO, TX 78228
HICKS, SANDRA POWERS & JOSEPHINE ZIEGLER RAMIREZ	243	SENISA	SAN ANTONIO, TX 78228
GONZALEZ, ROQUE A & YOLANDA	245	SENISA	SAN ANTONIO, TX 78228
LEAL, MIGUEL & MARGARET M	246	SENISA	SAN ANTONIO, TX 78228
LEE, JACK DONALD	250	SENISA	SAN ANTONIO, TX 78228
PETRUTSAS, MARY C	251	SENISA	SAN ANTONIO, TX 78228
CALDWELL, JOE D & MARIA G	252	SENISA	SAN ANTONIO, TX 78228
HERNANDEZ, MARTIN G & DOLORES R	302	SENISA	SAN ANTONIO, TX 78228
CORDARO, JOHN A & ESTELA N	303	SENISA	SAN ANTONIO, TX 78228
HERNANDEZ, JOSEPH C	306	SENISA	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
LOZANO, LOUISA	307	SENISA	SAN ANTONIO, TX 78228
TORRES, REBECCA BALLI ETAL	310	SENISA	SAN ANTONIO, TX 78228
OBREGON, GENARO & LETISIA	311	SENISA	SAN ANTONIO, TX 78228
SUMMERSILL, ANGELA	315	SENISA	SAN ANTONIO, TX 78228
VELA, FRANK N & MARY S	316	SENISA	SAN ANTONIO, TX 78228
RODRIGUEZ, JUANITA	322	SENISA	SAN ANTONIO, TX 78228
VASQUEZ, JOSE A	323	SENISA	SAN ANTONIO, TX 78228
RIECHER, OPHELIA D	326	SENISA	SAN ANTONIO, TX 78228
DONNELLY, LAWRENCE B & ADELE	327	SENISA	SAN ANTONIO, TX 78228
POMPA, HORTENSE E SCIARAFFA	330	SENISA	SAN ANTONIO, TX 78228
BROWN, HENRY J & IRENE	331	SENISA	SAN ANTONIO, TX 78228
MANRIQUE, EDGAR A	334	SENISA	SAN ANTONIO, TX 78228
PUERTAS, REMIJIO	335	SENISA	SAN ANTONIO, TX 78228
VASQUEZ, CRESPIN & MARY HELEN	338	SENISA	SAN ANTONIO, TX 78228
SANCHEZ, RODNEY M & IRMA	339	SENISA	SAN ANTONIO, TX 78228
BRANARD, PEGGY G	342	SENISA	SAN ANTONIO, TX 78228
APODACA, JOE M	343	SENISA	SAN ANTONIO, TX 78228
BALDERAS, MARIA A & STEVEN	346	SENISA	SAN ANTONIO, TX 78228
RAMIREZ, RENE R & RAQUEL G	347	SENISA	SAN ANTONIO, TX 78228
ROBLES, VINCENT & NELLIE A	350	SENISA	SAN ANTONIO, TX 78228
PALACIOS, GREGORIO & MARY	351	SENISA	SAN ANTONIO, TX 78228
GALLARDO, DAVID	354	SENISA	SAN ANTONIO, TX 78228
VASQUEZ, ELIAS M & JULIE ANN	357	SENISA	SAN ANTONIO, TX 78228
MARISCAL, JORGE A	100	SENISA	SAN ANTONIO, TX 78228
RINGGOLD, MARY LYNN	112	SENISA	SAN ANTONIO, TX 78228
REYNA, LOUIS C & MARIA G	102	SHADWELL	SAN ANTONIO, TX 78228
RODRIGUEZ, ROBERT L ETAL	103	SHADWELL	SAN ANTONIO, TX 78228
RIVERA, RUDOLPH JR & GLORIA	106	SHADWELL	SAN ANTONIO, TX 78228
REYNA, CARLOS	107	SHADWELL	SAN ANTONIO, TX 78228
ALVAREZ, BERTHA R	110	SHADWELL	SAN ANTONIO, TX 78228
KRAUSE, ALLEN W & CHARLENE	111	SHADWELL	SAN ANTONIO, TX 78228
MARTINEZ, SAMUEL O & ELVA E	115	SHADWELL	SAN ANTONIO, TX 78228
ORTIZ, JUAN CARLOS & MARIA D	116	SHADWELL	SAN ANTONIO, TX 78228
FULMER, MICHAEL	119	SHADWELL	SAN ANTONIO, TX 78228
SERRANO, OSCAR D & ANNA M	120	SHADWELL	SAN ANTONIO, TX 78228
BURC, JOYCE ZAPATA	123	SHADWELL	SAN ANTONIO, TX 78228
FAIRMAN, RON	124	SHADWELL	SAN ANTONIO, TX 78228
CALVO, PATRICIO	125	SHADWELL	SAN ANTONIO, TX 78228
LOSOYA, GEORGE N & MANUELA G	127	SHADWELL	SAN ANTONIO, TX 78228
PEARSON, RUTH	129	SHADWELL	SAN ANTONIO, TX 78228
LUCIO, MARY	131	SHADWELL	SAN ANTONIO, TX 78228
SANCHEZ, AURORA	132	SHADWELL	SAN ANTONIO, TX 78228
HALL, PHILIP A	136	SHADWELL	SAN ANTONIO, TX 78228
FERNANDEZ, LOUIS R & AURORA	140	SHADWELL	SAN ANTONIO, TX 78228
JOHNSON, KERBY A & DAVID DUPUY	146	SHADWELL	SAN ANTONIO, TX 78228
SANCHEZ, MANUEL JR	147	SHADWELL	SAN ANTONIO, TX 78228
MOCZYGEMBA, WANDA L	149	SHADWELL	SAN ANTONIO, TX 78228
ALEJOS, GEORGE L & YOLANDA	152	SHADWELL	SAN ANTONIO, TX 78228
GARCIA, ROBERT M & LYDIA	155	SHADWELL	SAN ANTONIO, TX 78228
TA ESCROW 97 INC	202	SHADWELL	SAN ANTONIO, TX 78228
LOREDO, SANTIAGO N & MATILDA	203	SHADWELL	SAN ANTONIO, TX 78228
GARCIA, SANDRA	205	SHADWELL	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
RODRIGUEZ, BILLIE C REV/TR	208	SHADWELL	SAN ANTONIO, TX 78228
BOLNER, ANTHONY J & SUZANNE	211	SHADWELL	SAN ANTONIO, TX 78228
SANTOS, EVANGELINA T	214	SHADWELL	SAN ANTONIO, TX 78228
HUXOLL, GENEVIEVE ANNA	215	SHADWELL	SAN ANTONIO, TX 78228
HERNANDEZ, MARIA ELENA	218	SHADWELL	SAN ANTONIO, TX 78228
RODRIGUEZ, ROBERT GARZA	219	SHADWELL	SAN ANTONIO, TX 78228
THOMAS, LOWELL V & SYLVIA M	222	SHADWELL	SAN ANTONIO, TX 78228
EVERS, IRA L & TANYA	223	SHADWELL	SAN ANTONIO, TX 78228
VEGA, JOHN A & RITA A	226	SHADWELL	SAN ANTONIO, TX 78228
BIGHAM, DIANE M	227	SHADWELL	SAN ANTONIO, TX 78228
OCHOA, ELEANOR	230	SHADWELL	SAN ANTONIO, TX 78228
HERRERA, ABRAHAM & MARIA LUISA	233	SHADWELL	SAN ANTONIO, TX 78228
ROBLES, DANIEL & THERESA A	234	SHADWELL	SAN ANTONIO, TX 78228
RODRIGUEZ, JAMES L	238	SHADWELL	SAN ANTONIO, TX 78228
RODRIGUEZ, JOSEPH ERNIE	242	SHADWELL	SAN ANTONIO, TX 78228
PENA, NINFA	245	SHADWELL	SAN ANTONIO, TX 78228
RENTERIA, JUAN J & DEBORAH A	247	SHADWELL	SAN ANTONIO, TX 78228
LAHOOD, MADELINE FARAH	301	SHADWELL	SAN ANTONIO, TX 78228
BRENEMAN, CHARLES J	302	SHADWELL	SAN ANTONIO, TX 78228
CURRENT RESIDENT	307	SHADWELL	SAN ANTONIO, TX 78228
TREVINO, DAVID	308	SHADWELL	SAN ANTONIO, TX 78228
MARTINEZ, ROBERT JR & DINAH G	314	SHADWELL	SAN ANTONIO, TX 78228
BERAIN, BERTHA	315	SHADWELL	SAN ANTONIO, TX 78228
PEREZ, MICHAEL C & LISA	320	SHADWELL	SAN ANTONIO, TX 78228
DIXON, PAUL & SHIRLEY A	326	SHADWELL	SAN ANTONIO, TX 78228
PETERSON, TERRENCE C & RENEE G	327	SHADWELL	SAN ANTONIO, TX 78228
MORENO, THOMAS CERVANTES & ROSA R	330	SHADWELL	SAN ANTONIO, TX 78228
KNODELL, THOMAS G SR & DOROTHY	333	SHADWELL	SAN ANTONIO, TX 78228
MARTINEZ, JOHNNY Z & ALICIA	338	SHADWELL	SAN ANTONIO, TX 78228
DE LA HAYA, ARMANDO & ROSALINDA	339	SHADWELL	SAN ANTONIO, TX 78228
HAUFLER, CAROL ANN	343	SHADWELL	SAN ANTONIO, TX 78228
FLORES, JAIME A & YOLANDA T	344	SHADWELL	SAN ANTONIO, TX 78228
TIRADO, MARTIN & CAROLINA	347	SHADWELL	SAN ANTONIO, TX 78228
BARRERA, MARY	350	SHADWELL	SAN ANTONIO, TX 78228
MILLER, JOAN ECCELL	400	SHADWELL	SAN ANTONIO, TX 78228
GONZALES, LOUIS M & LUISA L	401	SHADWELL	SAN ANTONIO, TX 78228
HARDY, PATRICIA B	408	SHADWELL	SAN ANTONIO, TX 78228
RENDON, MARLIEN M	409	SHADWELL	SAN ANTONIO, TX 78228
OWEN, ROBERT R	414	SHADWELL	SAN ANTONIO, TX 78228
ALFORD, JOE FAY HUDSON	415	SHADWELL	SAN ANTONIO, TX 78228
CANTU, GERARDO & LINDA	418	SHADWELL	SAN ANTONIO, TX 78228
ANSTICE, BERNICE R	419	SHADWELL	SAN ANTONIO, TX 78228
BELL, RONALD WAYNE & LETICIA	423	SHADWELL	SAN ANTONIO, TX 78228
PINEDA, NOEL	424	SHADWELL	SAN ANTONIO, TX 78228
CELEDON, PAUL G	427	SHADWELL	SAN ANTONIO, TX 78228
CHAVEZ, MARIA E ET AL	428	SHADWELL	SAN ANTONIO, TX 78228
BOCANEGRA, GENARO T JR & DENISE	431	SHADWELL	SAN ANTONIO, TX 78228
MOLINA, ANTONIO G	432	SHADWELL	SAN ANTONIO, TX 78228
ST PAUL'S CATHOLIC CHURCH	433	SHADWELL	SAN ANTONIO, TX 78228
CHACON, SUSAN & ESTELLA E	436	SHADWELL	SAN ANTONIO, TX 78228
DELAGARZA, GEORGE	437	SHADWELL	SAN ANTONIO, TX 78228
HERNANDEZ, MANUEL M & JUANITA	440	SHADWELL	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
DE LA GARZA, GEORGE & DRUCILLA	443	SHADWELL	SAN ANTONIO, TX 78228
PEREZ, ESTELA H	444	SHADWELL	SAN ANTONIO, TX 78228
KRISS, PETER J & EVA	448	SHADWELL	SAN ANTONIO, TX 78228
PENA, JERRY & BERTHA S	449	SHADWELL	SAN ANTONIO, TX 78228
GONZALES, ROLAND H	2120	ST CLOUD	SAN ANTONIO, TX 78228
MOSES, MARY HELEN	2218	ST CLOUD	SAN ANTONIO, TX 78228
WARD, EDWARD M & MARTHA E	2224	ST CLOUD	SAN ANTONIO, TX 78228
CORTEZ, HENRY C & ARMANDINA	2228	ST CLOUD	SAN ANTONIO, TX 78228
REIF, PAUL MICHAEL	1414	ST CLOUD	SAN ANTONIO, TX 78228
ST PAULS CATHOLIC CHURCH	1718	ST CLOUD	SAN ANTONIO, TX 78228
ALANIS, MARIA DELOSANGELES	1310	ST CLOUD	SAN ANTONIO, TX 78228
CALDERON, HUMBERTO R & SUSIE	2402	SUMMIT AV W	SAN ANTONIO, TX 78228
SOLANO, MERCED Z & LUPE	2403	SUMMIT AV W	SAN ANTONIO, TX 78228
CALDERON, ALPHONSO M	2406	SUMMIT AV W	SAN ANTONIO, TX 78228
KASSAI, JOSEPH & SHERRY V	2407	SUMMIT AV W	SAN ANTONIO, TX 78228
VILLALON, MARCOS IV	2410	SUMMIT AV W	SAN ANTONIO, TX 78228
ONOFRE, DELFINO R & THEODORA	2411	SUMMIT AV W	SAN ANTONIO, TX 78228
MILLS, JANET M & TAMMIE D DUNFEE	2414	SUMMIT AV W	SAN ANTONIO, TX 78228
BAIN, MARY V	2415	SUMMIT AV W	SAN ANTONIO, TX 78228
TREVINO, FELIX B & ALICIA P	2418	SUMMIT AV W	SAN ANTONIO, TX 78228
LEVINSON, EVA F	2419	SUMMIT AV W	SAN ANTONIO, TX 78228
RODRIGUEZ, RICHARD L	2420	SUMMIT AV W	SAN ANTONIO, TX 78228
DAHER, JOSE & THERESA	2423	SUMMIT AV W	SAN ANTONIO, TX 78228
VALICEK, MYRA M	2424	SUMMIT AV W	SAN ANTONIO, TX 78228
VALICEK, MICHAEL D & MICHELLE L	2427	SUMMIT AV W	SAN ANTONIO, TX 78228
PETIMEZAS, CHRISTINA H	2431	SUMMIT AV W	SAN ANTONIO, TX 78228
YOUNG, DAVID & CHIN CHIH CHU	2435	SUMMIT AV W	SAN ANTONIO, TX 78228
EFRON, RICHARD H	2439	SUMMIT AV W	SAN ANTONIO, TX 78228
KINSEY, SAMUEL J	2443	SUMMIT AV W	SAN ANTONIO, TX 78228
CASANOVA, EDUARDO P & PAULINE R	2446	SUMMIT AV W	SAN ANTONIO, TX 78228
REY, INOCENCIA R	2450	SUMMIT AV W	SAN ANTONIO, TX 78228
MENCHACA, REYMUNDO & AMELIA	2454	SUMMIT AV W	SAN ANTONIO, TX 78228
CODINA, G EDWARD & LAURA P	2503	SUMMIT AV W	SAN ANTONIO, TX 78228
DAVALOS, CAROLYN MARIE	2506	SUMMIT AV W	SAN ANTONIO, TX 78228
GARZA, ARMANDO M & LYDIA H	2507	SUMMIT AV W	SAN ANTONIO, TX 78228
VALLEJO, HECTOR & MARY HELN	2508	SUMMIT AV W	SAN ANTONIO, TX 78228
ANGUIANO, PETE	2512	SUMMIT AV W	SAN ANTONIO, TX 78228
MARTINEZ, JOHN C & LOURDES T CORREA	2515	SUMMIT AV W	SAN ANTONIO, TX 78228
GARZA, DEBRA CORTINAS	2518	SUMMIT AV W	SAN ANTONIO, TX 78228
SUNIGA, RAYMOND JR & ADELE C	2519	SUMMIT AV W	SAN ANTONIO, TX 78228
BRIDGES, FRANK B III	2522	SUMMIT AV W	SAN ANTONIO, TX 78228
PERKINS, OTTIS B & ANNIE	2523	SUMMIT AV W	SAN ANTONIO, TX 78228
MARTINEZ, DANIEL S JR & LETICIA G	2526	SUMMIT AV W	SAN ANTONIO, TX 78228
LOZANO, CYNTHIA	2529	SUMMIT AV W	SAN ANTONIO, TX 78228
VILLARREAL, DIANE	2532	SUMMIT AV W	SAN ANTONIO, TX 78228
DELGADO, MARCELO & MARIA	2533	SUMMIT AV W	SAN ANTONIO, TX 78228
SANCHEZ, ERCILIA A	2536	SUMMIT AV W	SAN ANTONIO, TX 78228
ROMAN, YOLANDA G & TOM C	2540	SUMMIT AV W	SAN ANTONIO, TX 78228
GRIMM, CONSTANCE C	2541	SUMMIT AV W	SAN ANTONIO, TX 78228
KLEE, GRACE D & DAVID S VELASQUEZ	2546	SUMMIT AV W	SAN ANTONIO, TX 78228
MERY, JOE K & MARIA	2547	SUMMIT AV W	SAN ANTONIO, TX 78228
SILVA, JUAN C & MARIA ELENA MORENO	2551	SUMMIT AV W	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
GOMEZ, ROSA & ALFRED	2602	SUMMIT AV W	SAN ANTONIO, TX 78228
GONZALEZ, JOSE & EDNA	2603	SUMMIT AV W	SAN ANTONIO, TX 78228
POMPA, MICHAEL & VANESSA P	2607	SUMMIT AV W	SAN ANTONIO, TX 78228
SMELTZER, GERTRUDE M	2608	SUMMIT AV W	SAN ANTONIO, TX 78228
AGUILAR, MANUEL G & DORA M	2609	SUMMIT AV W	SAN ANTONIO, TX 78228
RODRIGUEZ, MARTHA M & RICHARD T	2613	SUMMIT AV W	SAN ANTONIO, TX 78228
YELK, WILLIAM & LAURA J	2614	SUMMIT AV W	SAN ANTONIO, TX 78228
PEREZ, BLANCA	2617	SUMMIT AV W	SAN ANTONIO, TX 78228
GUERRA, HUMBERTO & HERMELINDA	2618	SUMMIT AV W	SAN ANTONIO, TX 78228
DAVILA, REBECCA R	2622	SUMMIT AV W	SAN ANTONIO, TX 78228
HURTADO, RAUL & LYDIA A	2625	SUMMIT AV W	SAN ANTONIO, TX 78228
VALDEZ, DEBRA	2629	SUMMIT AV W	SAN ANTONIO, TX 78228
CARREON, ZARAGOSA JR & WF	2630	SUMMIT AV W	SAN ANTONIO, TX 78228
MORENO, DAVID M & EVELYN I	2633	SUMMIT AV W	SAN ANTONIO, TX 78228
TELLO, JUAN A & HERMILINDA R	2634	SUMMIT AV W	SAN ANTONIO, TX 78228
MALDONADO, ROLAND G & GLORIA	2640	SUMMIT AV W	SAN ANTONIO, TX 78228
FLORES, LUIS J	2650	SUMMIT AV W	SAN ANTONIO, TX 78228
GUERRA, LISA MARIE & LUTHER W STRAIT	2651	SUMMIT AV W	SAN ANTONIO, TX 78228
DE LEON, MANUEL L & KATHRYN	2654	SUMMIT AV W	SAN ANTONIO, TX 78228
TAYLOR, CLIFFORD MR	2655	SUMMIT AV W	SAN ANTONIO, TX 78228
TORRES, PATSY GUZMAN	2658	SUMMIT AV W	SAN ANTONIO, TX 78228
GARCIA, THERESA	2661	SUMMIT AV W	SAN ANTONIO, TX 78228
BARNARD, JOE D & MAGDA	2664	SUMMIT AV W	SAN ANTONIO, TX 78228
RIOS, ANTONIO E & MARY L	2665	SUMMIT AV W	SAN ANTONIO, TX 78228
REGALADO, ROBERT L & CYNTHIA A	2671	SUMMIT AV W	SAN ANTONIO, TX 78228
CARTER, RICHARD W & WILLIE T	2672	SUMMIT AV W	SAN ANTONIO, TX 78228
GARCIA, JOE V JR & ESTHER R	239	SUNSHINE DR E	SAN ANTONIO, TX 78228
DAVILA, JOSEPH & HELEN C	247	SUNSHINE DR E	SAN ANTONIO, TX 78228
MORENO, JESS T & JUANITA G	110	SUNSHINE DR E	SAN ANTONIO, TX 78228
REED, FRANK WALTER SR & NANCY L	118	SUNSHINE DR E	SAN ANTONIO, TX 78228
WALKER, MARTA ELIA ETAL	122	SUNSHINE DR E	SAN ANTONIO, TX 78228
DOUGHTY, SHARON LEE & NOELIA PONCE	130	SUNSHINE DR E	SAN ANTONIO, TX 78228
NORIEGA, JESUS G & MARY ESTHER	138	SUNSHINE DR E	SAN ANTONIO, TX 78228
KNIGHT, JAMES W & WF	139	SUNSHINE DR E	SAN ANTONIO, TX 78228
VELASQUEZ, ROBERTO & LAURA ALINE SHERMAN	142	SUNSHINE DR E	SAN ANTONIO, TX 78228
STEPANSKI, ANDREW	146	SUNSHINE DR E	SAN ANTONIO, TX 78228
LUCKEY, EDWARD K & HELEN A	147	SUNSHINE DR E	SAN ANTONIO, TX 78228
PITTARD, CHARLES J	154	SUNSHINE DR E	SAN ANTONIO, TX 78228
JACOBSON, PATRICIA	155	SUNSHINE DR E	SAN ANTONIO, TX 78228
ALANIS, ANDRES C & SYLVIA A	158	SUNSHINE DR E	SAN ANTONIO, TX 78228
WEYNAND, JEROME F	159	SUNSHINE DR E	SAN ANTONIO, TX 78228
LUNA, CIRIA M	162	SUNSHINE DR E	SAN ANTONIO, TX 78228
RAMIREZ, PAUL U & AMELIA C	163	SUNSHINE DR E	SAN ANTONIO, TX 78228
DE LOS SANTOS, ROGELIO & ELVA	202	SUNSHINE DR E	SAN ANTONIO, TX 78228
GUARDIA, JOHN E & DEBORAH S	203	SUNSHINE DR E	SAN ANTONIO, TX 78228
BENZ, GEORGE A & JEAN	206	SUNSHINE DR E	SAN ANTONIO, TX 78228
FEW, L EARL & MARY NELL MITCHELL	211	SUNSHINE DR E	SAN ANTONIO, TX 78228
ALDERETE, LARRY & CYNTHIA	214	SUNSHINE DR E	SAN ANTONIO, TX 78228
BENZ, GEORGE A & JEAN T	218	SUNSHINE DR E	SAN ANTONIO, TX 78228
WHITEHEAD, CHARLES D & BECKY H	219	SUNSHINE DR E	SAN ANTONIO, TX 78228
MCCOY, LELAND D & ANTONIO M	222	SUNSHINE DR E	SAN ANTONIO, TX 78228
SZCYBIALKA, JOHNNIE J & MARGARET M	225	SUNSHINE DR E	SAN ANTONIO, TX 78228

PROPERTY OWNER	PROPERTY ADDRESS	PROPERTY ADDRESS	PROPERTY ADDRESS
CANTU, RAYMOND L & LINDA V	230	SUNSHINE DR E	SAN ANTONIO, TX 78228
GUERRERO, ANTONIO F JR	231	SUNSHINE DR E	SAN ANTONIO, TX 78228
MORAN, MICHELE A	234	SUNSHINE DR E	SAN ANTONIO, TX 78228
HIZAR, LINDA J	235	SUNSHINE DR E	SAN ANTONIO, TX 78228
CHACON, EUSEBIO & ESTELLA	238	SUNSHINE DR E	SAN ANTONIO, TX 78228
ZUNIGA, HIGINIO	242	SUNSHINE DR E	SAN ANTONIO, TX 78228
MARTINEZ, RAYMUNDO & MARY	246	SUNSHINE DR E	SAN ANTONIO, TX 78228
KAPP, MARTHA PATRICIA	103	SUTTON	SAN ANTONIO, TX 78228
MALDONADO, RAMIRO & CAROLINA G FLORES	104	SUTTON	SAN ANTONIO, TX 78228
GUAJARDO, YSRAEL SR & DELIA	107	SUTTON	SAN ANTONIO, TX 78228
ESCAMILLA, OFELIA	111	SUTTON	SAN ANTONIO, TX 78228
RODRIGUEZ, RICARDO & ORALIA	115	SUTTON	SAN ANTONIO, TX 78228
CARDENAS, IRMA I	118	SUTTON	SAN ANTONIO, TX 78228
ZOLLER, DONNA	119	SUTTON	SAN ANTONIO, TX 78228
PLACIER, THOMAS LEE & SHEILA	122	SUTTON	SAN ANTONIO, TX 78228
HERNANDEZ, IRENE B	123	SUTTON	SAN ANTONIO, TX 78228
GARCIA, LUIS	126	SUTTON	SAN ANTONIO, TX 78228
GARCIA, EUNICE	127	SUTTON	SAN ANTONIO, TX 78228
CANTU, ROBERT C & JEANNE ANN	130	SUTTON	SAN ANTONIO, TX 78228
TOVAR, MANUEL M & ROXANNA G	131	SUTTON	SAN ANTONIO, TX 78228
GUERRA, HERLINDA M	134	SUTTON	SAN ANTONIO, TX 78228
RODRIGUEZ, ZULEMA M & LETICIA	135	SUTTON	SAN ANTONIO, TX 78228
GONZALEZ, ERNEST M & AURORA	138	SUTTON	SAN ANTONIO, TX 78228
MEJIA, RAMON R & MARIA P	139	SUTTON	SAN ANTONIO, TX 78228
DIECKMANN, JACK A & ESTHER M	142	SUTTON	SAN ANTONIO, TX 78228
FELDKAMP, OLIVE	202	SUTTON	SAN ANTONIO, TX 78228
ARROYO, OLIVIA A	203	SUTTON	SAN ANTONIO, TX 78228
ZEPEDA, RAQUEL EST OF	207	SUTTON	SAN ANTONIO, TX 78228
RAMIREZ, GLORIA J & DOROTEO III	208	SUTTON	SAN ANTONIO, TX 78228
CORTINAS, MICHAEL A & NARCEDALIA J	211	SUTTON	SAN ANTONIO, TX 78228
HAMMELL, HERMAN A	214	SUTTON	SAN ANTONIO, TX 78228
COSME, FRANK & MADELINE	215	SUTTON	SAN ANTONIO, TX 78228
RENDON, ENRIQUE O & BLANCA	218	SUTTON	SAN ANTONIO, TX 78228
BARNES, BRIAN	219	SUTTON	SAN ANTONIO, TX 78228
FULMER, MARGARET	222	SUTTON	SAN ANTONIO, TX 78228
BERNAL, ELINOR A	223	SUTTON	SAN ANTONIO, TX 78228
MUNIZ, DORIS JOYCE	226	SUTTON	SAN ANTONIO, TX 78228
REYES, ALICIA R & JEFF DAVIS	227	SUTTON	SAN ANTONIO, TX 78228
BARRON, LOUIS & GUADALUPE	230	SUTTON	SAN ANTONIO, TX 78228
ARMS, LIDDIE S	231	SUTTON	SAN ANTONIO, TX 78228
TORRES, RICHARD O	302	SUTTON	SAN ANTONIO, TX 78228
LUNA, HERMAN E & SYLVIA A	303	SUTTON	SAN ANTONIO, TX 78228
WELTENS, LEON E & BETTY LEE	306	SUTTON	SAN ANTONIO, TX 78228
BAKER, TERRI ANN	309	SUTTON	SAN ANTONIO, TX 78228
LOPEZ, THOMAS ROLAND & SONIA	310	SUTTON	SAN ANTONIO, TX 78228
HENARIE, RONALD C & JOAN R	314	SUTTON	SAN ANTONIO, TX 78228
CHAVEZ, CAESAR B & VERONICA	315	SUTTON	SAN ANTONIO, TX 78228
GONZALEZ, DANIEL A & SARA A	318	SUTTON	SAN ANTONIO, TX 78228
VILLARREAL, DANIEL	319	SUTTON	SAN ANTONIO, TX 78228
GARCIA, NOE G	322	SUTTON	SAN ANTONIO, TX 78228
RODRIGUEZ, WALTER H & ORALIA	323	SUTTON	SAN ANTONIO, TX 78228
SHELTON, MARY LEE	326	SUTTON	SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
CHASE, CARROLL R	327	SUTTON	SAN ANTONIO, TX 78228
KELLEY, JOANNA	330	SUTTON	SAN ANTONIO, TX 78228
GARCIA, ADALBERTO & HOLDA C	331	SUTTON	SAN ANTONIO, TX 78228
DUFFY, GEORGIA LEIGH	334	SUTTON	SAN ANTONIO, TX 78228
ACOSTA, EDUARDO T & LYDIA R	335	SUTTON	SAN ANTONIO, TX 78228
DIEDRICK, LILLIAN	338	SUTTON	SAN ANTONIO, TX 78228
ESPINOZA, CRUZ & JUANITA S	339	SUTTON	SAN ANTONIO, TX 78228
DUENAS, CATHERINE C	342	SUTTON	SAN ANTONIO, TX 78228
GONZALEZ, JULIETTE H	343	SUTTON	SAN ANTONIO, TX 78228
ABERNATHY, CHARLOTTE WILEEN	346	SUTTON	SAN ANTONIO, TX 78228
RODRIGUEZ, ROGELIO SR & LUZ MINERVA	349	SUTTON	SAN ANTONIO, TX 78228
CERVANTES, MARIA D	355	SUTTON	SAN ANTONIO, TX 78228
HINOJOSA, EDWARD M & OLIVIA	359	SUTTON	SAN ANTONIO, TX 78228
AGUAYO, LUIS & IRENE H	363	SUTTON	SAN ANTONIO, TX 78228
CORTEZ, FRANCISCO III	367	SUTTON	SAN ANTONIO, TX 78228
BARKHURST, MARGARET E	371	SUTTON	SAN ANTONIO, TX 78228
MONIER, PHYLLIS MAYFIELD	375	SUTTON	SAN ANTONIO, TX 78228
TAMEZ, CLARA H	379	SUTTON	SAN ANTONIO, TX 78228
MCINNIS, KATHRYN R	106	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
PARSONS, JOHN W	109	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
GARCIA, MOSES	110	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
WHITE, OLA MARIE MOOS	117	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
GUNNERSON, MARJORIE B	118	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
WOLF, RICHARD & JANICE	121	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
MACIAS, ANTONIO H & ISABEL	122	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
MUNOZ, CATHERINE	123	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
SCRIMPSHER, GEORGE ALVIN JR	124	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
VOTION, RODNEY F & MAGDALENA	125	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
HENDERSON, JUNE MILLICENT	128	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
FULTON, JERRY WARNER	131	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
ONOFRE, ARMANDO E	135	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
ESPINO, MOISES & WIFE	136	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
SEAMANS, DANA GERALD	139	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
CHURCH, WILLIAM CARLTON IV	140	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
HERNANDEZ, ARTHUR JR & MONICA	143	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
ALMAGUER, JAMES J & ALICE A	144	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
SANCHEZ, RAYMOND R JR	147	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
RIVERA, RUDOLPH & CONCEPCION V	148	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
DOBBS, SHARON MARIE ETAL	151	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
BALCH, KELVIN G	152	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
CROUCH, ALLEN N M & WF	202	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
ESPARZA, ANITA R & ROLAND R	203	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
KINSEY, ANITA G	207	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
RADIGAN, RICHARD J & TRACEY	208	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
MISURACA, CONSUELO D & THOMA	210	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
HERRERA, GEORGE E & GUADALUPE C	211	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
LEAL, LAURA	215	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
SCHOONDERGANG, MARILEE BAKER	216	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
CANTU, LEONOR	219	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
RODRIGUEZ, ALICIA R	220	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
KARAM, HAROLD J	223	THOMAS JEFFERSON	SAN ANTONIO, TX 78228
HAASE, DAWN M	229	THOMAS JEFFERSON	SAN ANTONIO, TX 78228

PROPERTY OWNER	PROPERTY ADDRESS
PRATTES, ANDY A & LUCILLE	233 THOMAS JEFFERSON SAN ANTONIO, TX 78228
KELLER, JACK L & NORMA M	238 THOMAS JEFFERSON SAN ANTONIO, TX 78228
JOHNSON, RANDALL L	238 THOMAS JEFFERSON SAN ANTONIO, TX 78228
BARRERA, ESPERANZA	241 THOMAS JEFFERSON SAN ANTONIO, TX 78228
RODRIGUEZ, CARMEN	301 THOMAS JEFFERSON SAN ANTONIO, TX 78228
RODRIGUEZ, FRANK	302 THOMAS JEFFERSON SAN ANTONIO, TX 78228
ARREDONDO, JUAN T & LEONOR S	309 THOMAS JEFFERSON SAN ANTONIO, TX 78228
PENA, DONALD M	312 THOMAS JEFFERSON SAN ANTONIO, TX 78228
GUERRERO, GLORIA P & ERLINDA G	315 THOMAS JEFFERSON SAN ANTONIO, TX 78228
GALINDO, EDWARD	316 THOMAS JEFFERSON SAN ANTONIO, TX 78228
CHAVEZ, DAVID S & CYNTHIA FRIAS	319 THOMAS JEFFERSON SAN ANTONIO, TX 78228
ANDERSON, ALICE H	320 THOMAS JEFFERSON SAN ANTONIO, TX 78228
SOTO, BERTHA	323 THOMAS JEFFERSON SAN ANTONIO, TX 78228
BASKIN, FRANK J	326 THOMAS JEFFERSON SAN ANTONIO, TX 78228
PILEGGI, PAULA M	327 THOMAS JEFFERSON SAN ANTONIO, TX 78228
SAUCEDA, MILTON & ROSIE P	333 THOMAS JEFFERSON SAN ANTONIO, TX 78228
DELRIO, DEBORAH	337 THOMAS JEFFERSON SAN ANTONIO, TX 78228
GUERRERO, EDWARD L & MARIA	341 THOMAS JEFFERSON SAN ANTONIO, TX 78228
IRVINE, ROBERT DEE	348 THOMAS JEFFERSON SAN ANTONIO, TX 78228
SELF, MARY K	350 THOMAS JEFFERSON SAN ANTONIO, TX 78228
VALDEZ, ROLANDO P & GABRIELA	611 THOMAS JEFFERSON SAN ANTONIO, TX 78228
BENOIT, VIRGINIA	614 THOMAS JEFFERSON SAN ANTONIO, TX 78228
LECCE, PATRICIA L & GENE J	617 THOMAS JEFFERSON SAN ANTONIO, TX 78228
VILLANUEVA, CRUZ L & ANNIE	621 THOMAS JEFFERSON SAN ANTONIO, TX 78228
CONTRERAS, DOROTHY LEE	625 THOMAS JEFFERSON SAN ANTONIO, TX 78228
GARCIA, ROBERT	102 THOMAS JEFFERSON SAN ANTONIO, TX 78228
MILLER, MARVIN	103 THOMAS JEFFERSON SAN ANTONIO, TX 78228
MANDER CORP	2615 WILSON BV SAN ANTONIO, TX 78228
MANDER CORP	2619 WILSON BV SAN ANTONIO, TX 78228
BENAVIDES, DAVID & JOSEPHINE	900 WILSON BV SAN ANTONIO, TX 78201
GARZA, FRED	1907 WILSON BV SAN ANTONIO, TX 78228
LEAL, MIGUEL & MARGARET	2007 WILSON BV SAN ANTONIO, TX 78228
BRAVO, MARY V	106 WINDSOR SAN ANTONIO, TX 78228
LEITH, NOEMI M	110 WINDSOR SAN ANTONIO, TX 78228
ZAVALA, JOEL & IRMA H	111 WINDSOR SAN ANTONIO, TX 78228
BEVILL, MARGARET FLORENCE	115 WINDSOR SAN ANTONIO, TX 78228
GARCIA, RICARDO S & FILIRQUIMA B	117 WINDSOR SAN ANTONIO, TX 78228
MILLER, M MERLE & ELAINE S	118 WINDSOR SAN ANTONIO, TX 78228
PATTERSON, KATHLEEN	122 WINDSOR SAN ANTONIO, TX 78228
PENROD, MABEL	123 WINDSOR SAN ANTONIO, TX 78228
OLSTAD, PAMELA ANN & ETAL	128 WINDSOR SAN ANTONIO, TX 78228
SALDIVAR, MONICA AMY	129 WINDSOR SAN ANTONIO, TX 78228
MANGOLD, CLAYTON A & MACELL E	131 WINDSOR SAN ANTONIO, TX 78228
SMITH, ELIZABETH	134 WINDSOR SAN ANTONIO, TX 78228
KEIENBURG, VIVIAN H MRS	135 WINDSOR SAN ANTONIO, TX 78228
MARTINEZ, OSCAR I & GUADALUPE O	138 WINDSOR SAN ANTONIO, TX 78228
VILLELA, RAUL B & AURORA M	141 WINDSOR SAN ANTONIO, TX 78228
GOMEZ, PHILIP	142 WINDSOR SAN ANTONIO, TX 78228
PERALES, RAUL C & AIDA R	143 WINDSOR SAN ANTONIO, TX 78228
SOSA, MARTA R	146 WINDSOR SAN ANTONIO, TX 78228
JONES, KRISTEN	150 WINDSOR SAN ANTONIO, TX 78228
JACOB, MARION J M ETAL	151 WINDSOR SAN ANTONIO, TX 78228

PROPERTY OWNER		PROPERTY ADDRESS	
GARCIA, CARLOS M & SYLVIA	155	WINDSOR	SAN ANTONIO, TX 78228
GONZALEZ, LORENZO & RACHEL L	158	WINDSOR	SAN ANTONIO, TX 78228
SOTO, GEORGE C & DORA S	159	WINDSOR	SAN ANTONIO, TX 78228
PEREZ, JOHN EDWARD & ROSA ARGENTINA	102	WINDSOR	SAN ANTONIO, TX 78228
FISHER, THERESA JEAN	103	WINDSOR	SAN ANTONIO, TX 78228
MORALES, DANIEL D & MARY ANN CASAREZ	2303	WOODLAWN AV W	SAN ANTONIO, TX 78201
RAMIREZ, RAMIRO C & GUADALUPE B	2307	WOODLAWN AV W	SAN ANTONIO, TX 78201
RAUL S CANTU TRUST	2311	WOODLAWN AV W	SAN ANTONIO, TX 78201
ACOSTA, LUZ M	2315	WOODLAWN AV W	SAN ANTONIO, TX 78201
SAENZ, C J & MARTINA R	2323	WOODLAWN AV W	SAN ANTONIO, TX 78201
LOZANO, GABRIEL	2327	WOODLAWN AV W	SAN ANTONIO, TX 78201
SILVA, JUAN G & LORENZA V	2403	WOODLAWN AV W	SAN ANTONIO, TX 78228
GARCIA, MARIA HERLINDA	2407	WOODLAWN AV W	SAN ANTONIO, TX 78228
URIBE, GUSTAVO A & CARMEN S	2411	WOODLAWN AV W	SAN ANTONIO, TX 78228
GARCIA, DAVID D & YOLANDA	2415	WOODLAWN AV W	SAN ANTONIO, TX 78228
VALDEZ, ANTONIO & GENOVEVA	2419	WOODLAWN AV W	SAN ANTONIO, TX 78228
OLIVO, JESUS G & JUANITA	2423	WOODLAWN AV W	SAN ANTONIO, TX 78228
HERNANDEZ, NORMA E	2427	WOODLAWN AV W	SAN ANTONIO, TX 78228
LEAL, HERLINDA & JOE L LEOS	2431	WOODLAWN AV W	SAN ANTONIO, TX 78228
MARROQUIN, J ENRIQUE & ROSALIE	2435	WOODLAWN AV W	SAN ANTONIO, TX 78228
MALDONALDO, RICHARD & DIANA B	2439	WOODLAWN AV W	SAN ANTONIO, TX 78228
LUNA, RICHARD S & ANITA YOLANDA D	2501	WOODLAWN AV W	SAN ANTONIO, TX 78228
LUNA, RICHARD & ANITA D	2507	WOODLAWN AV W	SAN ANTONIO, TX 78228
PONCE, ANTONIO P & LIDIA	2511	WOODLAWN AV W	SAN ANTONIO, TX 78228
IDAR, CONNIE M	2515	WOODLAWN AV W	SAN ANTONIO, TX 78228
RODRIGUEZ, ERNEST G & SYLVIA	2519	WOODLAWN AV W	SAN ANTONIO, TX 78228
BREWSTER, ARTURO	2521	WOODLAWN AV W	SAN ANTONIO, TX 78228
DAVALOS, JOE G & JOSIE V	2527	WOODLAWN AV W	SAN ANTONIO, TX 78228
TAMAYO, JESSE J & MARY F	2531	WOODLAWN AV W	SAN ANTONIO, TX 78228
VASQUEZ, FERNANDO ETAL	2535	WOODLAWN AV W	SAN ANTONIO, TX 78228
DAVILA, MICHAEL W	2539	WOODLAWN AV W	SAN ANTONIO, TX 78228
BERNAL, MANUEL E & YOLANDA G	2543	WOODLAWN AV W	SAN ANTONIO, TX 78228
RODRIGUEZ, ROGELIO M & DIANA A	2601	WOODLAWN AV W	SAN ANTONIO, TX 78228
RIVERA, RUBEN D & ROSA MARIA	2605	WOODLAWN AV W	SAN ANTONIO, TX 78228
MARTINEZ, ALEJANDRA	2609	WOODLAWN AV W	SAN ANTONIO, TX 78228
DELEON, ANTONIO	2613	WOODLAWN AV W	SAN ANTONIO, TX 78228
MALDONADO, TOMAS & SILVIA	2617	WOODLAWN AV W	SAN ANTONIO, TX 78228
HAVLIN, CLARENCE J	2621	WOODLAWN AV W	SAN ANTONIO, TX 78228
MCGIBBON, CHARLES R TRUST	2625	WOODLAWN AV W	SAN ANTONIO, TX 78228
GUADIANO, STEVEN P	2629	WOODLAWN AV W	SAN ANTONIO, TX 78228
RODRIGUEZ, GEORGE R & ROSARIO G	2635	WOODLAWN AV W	SAN ANTONIO, TX 78228
LOPEZ, DIANA C & RUBEN M PALACIOS	2703	WOODLAWN AV W	SAN ANTONIO, TX 78228
MENDOZA, ALBERT NARRO	2709	WOODLAWN AV W	SAN ANTONIO, TX 78228
FRANZ, GARY L & KAREN L	2715	WOODLAWN AV W	SAN ANTONIO, TX 78228
WARD, CHARLES E & JANE E	2719	WOODLAWN AV W	SAN ANTONIO, TX 78228
HERRERA, LILIA L	2723	WOODLAWN AV W	SAN ANTONIO, TX 78228
EMMOT, JAMES L & LAUREN M	2727	WOODLAWN AV W	SAN ANTONIO, TX 78228
BRANDT, BLOSSOM & EUGENE R	2735	WOODLAWN AV W	SAN ANTONIO, TX 78228
GONZALES, JOHNNY R & SYLVIA	2739	WOODLAWN AV W	SAN ANTONIO, TX 78228
GARCIA, ERNESTO G	2803	WOODLAWN AV W	SAN ANTONIO, TX 78228
TORREZ, LASARO JR & SAN JUANA C	2805	WOODLAWN AV W	SAN ANTONIO, TX 78228
RAMIREZ, GUADALUPE & YOLANDA	2811	WOODLAWN AV W	SAN ANTONIO, TX 78228

**PROPERTY OWNER**

**PROPERTY ADDRESS**

DAVILA, MICHAEL WAYNE	2819	WOODLAWN AV W	SAN ANTONIO, TX	78228
SALINAS, VELMA ROSE	2825	WOODLAWN AV W	SAN ANTONIO, TX	78228
SCHMID, EDWARD	2831	WOODLAWN AV W	SAN ANTONIO, TX	78228
HUMMEL, FRANCES K	2839	WOODLAWN AV W	SAN ANTONIO, TX	78228
ABUNDIS, AURORA P	2845	WOODLAWN AV W	SAN ANTONIO, TX	78228
ARVIZU, ANTHONY R	2847	WOODLAWN AV W	SAN ANTONIO, TX	78228



# **APPENDIX E**

## **NCD MEETING SCHEDULE**



## NCD Meeting Schedule

### Public Meetings

First Public Meeting	September 10, 2008
Second Public Meeting	October 21, 2008
Third Public Meeting	December 11, 2008
Fourth Public Meeting	March 5, 2009

### Planning Team Meetings

December 14, 2004	October 9, 2008	January 15, 2009
June 21, 2007	October 16, 2008	January 22, 2009
May 20, 2008	November 6, 2008	February 3, 2009
June 3, 2008	November 13, 2008	February 12, 2009
July 8, 2008	November 20, 2008	February 26, 2009
July 29, 2008	November 24, 2008	March 17, 2009
August 14, 2008	December 2, 2008	
September 3, 2008	December 9, 2008	
October 2, 2008	January 8, 2009	

### Zoning Commission Meetings

Work Session	March 17, 2009
Public Hearing	April 7, 2009

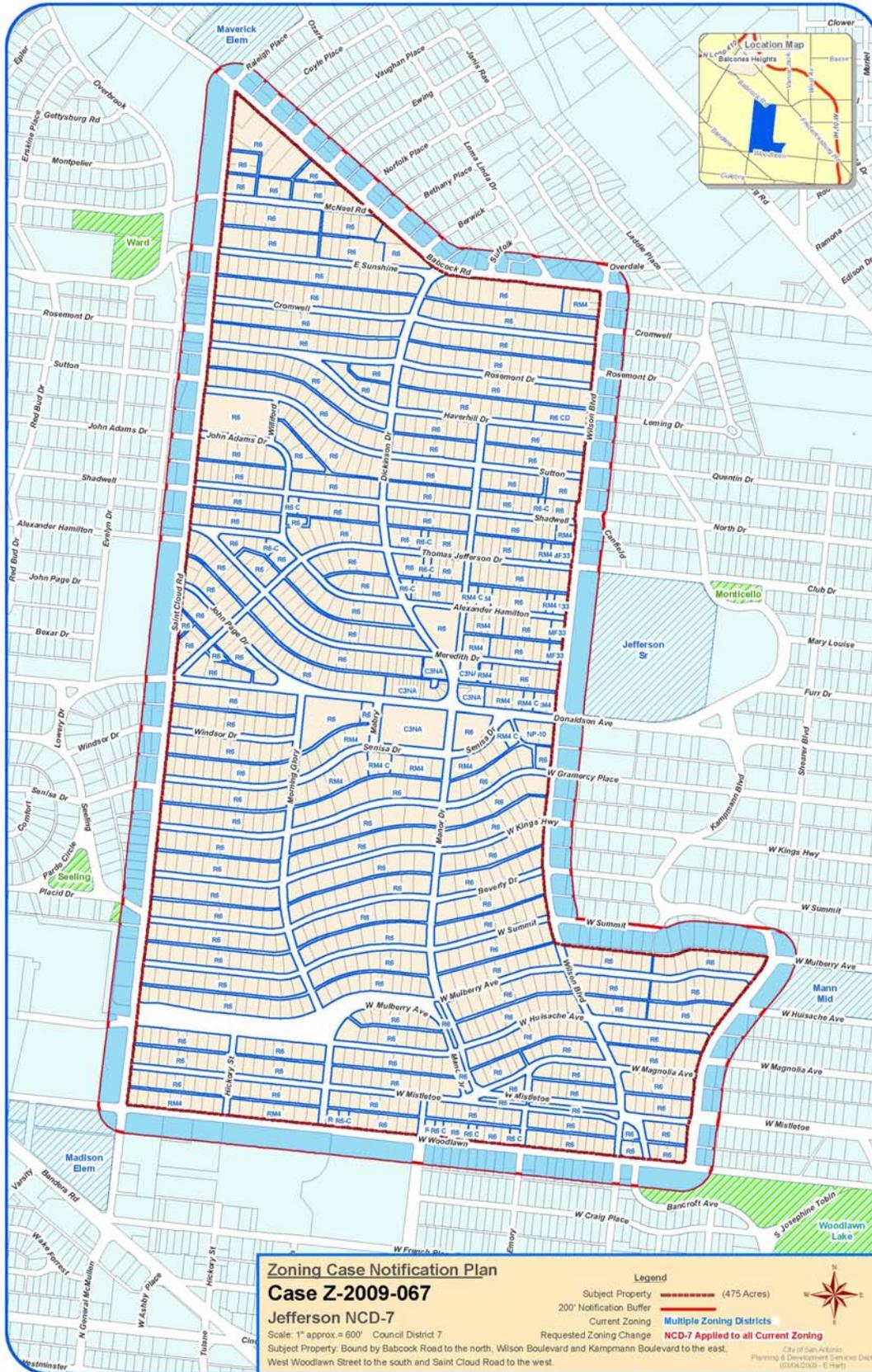
### City Council Meeting

Public Hearing and Consideration	April 16, 2009
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# **ATTACHMENT 1**

## **Zoning Commission Documentation**



# CASE NO: Z2009067

## Final Staff Recommendation - Zoning Commission

**Date:** April 07, 2009

**Council District** 7

**Ferguson Map:** 581D7

<b>Applicant Name:</b> City of San Antonio, Planning and Development Services Department	<b>Owner Name:</b> Multiple Property Owners
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**Zoning Request** From Multiple Zoning Districts to Add the Jefferson Neighborhood Conservation District-7.

**Property Location:** Multiple legal descriptions generally bound by Babcock Road to the north; Wilson Boulevard and Kampmann Boulevard to the east; West Woodlawn Street to the south; and Saint Cloud Road to the west.

Multiple addresses.

Multiple locations.

**Proposal:** To create a Neighborhood Conservation District (Jefferson NCD-7).

**Neighborhood Association:** Jefferson Neighborhood Association and Woodlawn Lake Community Association

**Neighborhood Plan:** Near Northwest Community Plan

**TIA Statement:** A Traffic Impact Analysis (TIA) is not required.

**Staff Recommendation:**

Approval.

The proposed Jefferson Neighborhood Conservation District is bound by Babcock Road to the north; Wilson Boulevard and Kampmann Boulevard to the east; West Woodlawn Street to the south; and Saint Cloud Road to the west. The proposed Jefferson Neighborhood Conservation District area consists of approximately 475 acres of land and 1451 parcels, primarily of "R-6" Residential Single-Family zoning. Other zoning designations that are located within the proposed Jefferson Neighborhood Conservation District area include "RM-4" Residential Mixed District, "NP-10" Neighborhood Preservation District, "MF-33" Multi-Family District, Conditional Zonings and "C-3NA" General Commercial District, Nonalcoholic Sales.

An application was submitted by the Jefferson area neighborhood to develop a Neighborhood Conservation District. The Jefferson area neighborhood was selected for NCD designation based on goals identified in the Near Northwest Community Plan, adopted in February 2004. Neighborhood Conservation District can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district contains structures that are at least 25 years old and at least 75% of the land area within the district is improved or developed. The proposed Jefferson Area Neighborhood Conservation District meets the ordinance requirements with 97.95 % of the land area containing structures that are 25 years or older and 100% of the land area presently improved.

Staff supports the designation of approximately 475 acres of land and 1451 parcels within the Jefferson area neighborhood as a Neighborhood Conservation District. A Neighborhood Conservation District has design standards which address the character-defining features of the neighborhood and reflect the style and/or form of the neighborhood block. It is a neighborhood revitalization tool that provides a more predictable course of development for both neighborhood property owners and the development community. Neighborhood Conservation Districts are designed as overlays to the regular zoning districts.

**CASE MANAGER :** Pedro Vega 207-7980

## Your neighborhood may be changing...



### Important zoning information is included that may affect your property

You are invited to attend two important public hearings because you are an owner of property within 200 feet of a proposed property zoning change. By attending these hearings, you will have the opportunity to express your opinion supporting or opposing the proposed zoning change outlined below. You are encouraged to attend these public hearings.

*\*Este aviso contiene información muy importante, el cual pueda afectar su propiedad. Para obtener más información en español, favor comunicarse telefono 207-7980.*

### **Zoning Case No: Z2009067**

#### **Notice of Public Hearings by the San Antonio Zoning Commission and City Council**

**Zoning Commission Hearing Date:** April 7, 2009 at 1:00 p.m. (may be heard after this time)

**Where:** Cliff Morton Development and Business Services Center - Boardroom, 1901 South Alamo Street

**City Council Hearing Date:** April 16, 2009 at 2:00 p.m. (may be heard after this time)

**Where:** City Council Chamber, Municipal Plaza Building, 103 Main Plaza

**Property Description:** Multiple legal descriptions generally bound by Babcock Road to the north; Wilson Boulevard and Kampmann Boulevard to the east; West Woodlawn Street to the south; and Saint Cloud Road to the west.

**Proposed Zoning Change:** To add the Jefferson Neighborhood Conservation District-7

**Questions?** Contact Case Manager Pedro Vega 207-7980. For more information about Zoning Districts visit

<http://www.sanantonio.gov/dsd/zoning.asp>

Please complete and return the enclosed card or other written response indicating if you are IN FAVOR or OPPOSED to the proposed zoning change. If 20% of property within 200 feet of a requested zoning change, or if 20% of property covered by a requested zoning change, is represented by opposition, a ¾ vote of City Council shall be required to approve the request. Please be advised that if you are in opposition, in order for your opposition to count toward this percentage, the official enclosed card or written opposition must be received at the Cliff Morton Development and Business Services Center, 1901 South Alamo Street, San Antonio, TX 78204 **by 4:00 pm the day prior** to the scheduled City Council hearing (indicated above).

*The Development and Business Services Center is wheelchair accessible. Accessible parking spaces are located on the north and south sides of the building. The City Council Chamber is wheelchair accessible. The accessible entrance is located at 103 S. Main Ave. Accessible parking spaces are located at City Hall, 100 Military Plaza. Auxiliary aids and services are available upon request (interpreters for the deaf must be requested forty-eight (48) hours prior to each meeting) by calling (210) 207-7245 V/TTY for assistance. Closed captioning is available on broadcasts of the Council meetings on 21-TVSA.*

#### **How the zoning process works...**

At a Zoning Commission hearing, several cases will be heard. A recommendation made by the Commission regarding the zoning change will then move to City Council for final consideration.

If you would like to speak at the Zoning Commission public hearing, please sign a roster located at the entrance of the boardroom. You must sign up **BEFORE** the beginning of the hearing, so arrive at least 10 minutes early. If you would like to utilize audio/video capabilities during your presentation, the case manager must receive all material at **least 24 hours prior** to the Zoning Commission public hearing.

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Additional information concerning this rezoning request and the zoning process can be obtained from the Planning and Development Services Department, Zoning Division, 1901 South Alamo Street or by calling the Case Manager at the above phone number.

#### **Why is your input important in this case?**

Zoning can create or change the character of your neighborhood and your community.

Through public participation, the City has a better understanding of what residents want to see in the development of their neighborhoods and surrounding community.

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## Your neighborhood may be changing...



### Important zoning information is included that may affect your property

You are invited to attend two important public hearings because you are an owner of property within 200 feet of a proposed property zoning change. By attending these hearings, you will have the opportunity to express your opinion supporting or opposing the proposed zoning change outlined below. You are encouraged to attend these public hearings.

*\*Este aviso contiene información muy importante, el cual pueda afectar su propiedad. Para obtener más información en español, favor comunicarse telefono 207-7980.*

### Zoning Case No: Z2009067

#### Notice of Public Hearings by the San Antonio Zoning Commission and City Council

**Zoning Commission Hearing Date:** April 7, 2009 at 1:00 p.m. (may be heard after this time)

**Where:** Cliff Morton Development and Business Services Center - Boardroom, 1901 South Alamo Street

**City Council Hearing Date:** April 16, 2009 at 2:00 p.m. (may be heard after this time)

**Where:** City Council Chamber, Municipal Plaza Building, 103 Main Plaza

**Property Description:** Multiple legal descriptions generally bound by Babcock Road to the north; Wilson Boulevard and Kampmann Boulevard to the east; West Woodlawn Street to the south; and Saint Cloud Road to the west.

**Proposed Zoning Change:** To add the Jefferson Neighborhood Conservation District-7

**Questions?** Contact Case Manager Pedro Vega 207-7980. For more information about Zoning Districts visit

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**Your property is within 200 feet of the Proposed Jefferson Neighborhood Conservation District-7**

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# Your neighborhood may be changing...



## A zoning change may affect a Neighborhood or Community Plan

You are invited to attend two important public hearings because the property considered for rezoning lies within a neighborhood or community plan. As a planning team member of this neighborhood or community plan, you will have the opportunity to express your opinion supporting or opposing the plan consistency of the proposed zoning change. You are encouraged to attend these public hearings.

*\*Este aviso contiene información muy importante, el cual pueda afectar su propiedad. Para obtener más información en español, favor comunicarse telefono 207-7980.*

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# **ATTACHMENT 2**

## **City Council Approved Ordinance**

SG: 04-16-09  
Item No. Z-3.

CASE NO. Z2009067

AN ORDINANCE      2009-04-16-0308

**AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SAN ANTONIO BY AMENDING CHAPTER 35, UNIFIED DEVELOPMENT CODE, SECTION 35-304, OF THE CITY CODE OF SAN ANTONIO, TEXAS BY CHANGING THE ZONING DISTRICT BOUNDARY OF CERTAIN PROPERTY.**

\* \* \* \* \*

**WHEREAS**, the Neighborhood Conservation District Overlay District is provided for in Chapter 35-335 of the Unified Development Code and;

**WHEREAS**, the Neighborhood Conservation District 7 (NCD-7) was identified and initiated pursuant in the Near Northwest Community Plan, adopted in February 2004; and

**WHEREAS**, Neighborhood Conservation District 7 (NCD-7) satisfies the designation criteria of Chapter 35-335 (b) in that it contains a minimum of one block face (all the lots on one side of a block); at least 75% of the land was improved at least 25 years ago, and is presently improved; and it possesses distinctive features which create a cohesive identifiable setting, character or association; and

**WHEREAS**, a Neighborhood Conservation District Plan was developed, and all property owners within the proposed district were afforded the opportunity to participate in drafting the Neighborhood Conservation District Plan, which shall be approved as part of the zoning ordinance creating the Neighborhood Conservation District; and

**WHEREAS**, the Zoning Commission in a public hearing on April 7, 2009, recommended approval of the Neighborhood Conservation District 7 (NCD-7); and

**WHEREAS**, a public hearing was held regarding this amendment to the Official Zoning Map at which time parties in interest and citizens were given an opportunity to be heard; and

**WHEREAS**, the Zoning Commission has submitted a final report to the City Council regarding this amendment to the Official Zoning Map of the City of San Antonio; **NOW THEREFORE**,

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:**

**SECTION 1.** Chapter 35, Unified Development Code, Section 35-304, Official Zoning Map, of the City Code of San Antonio, Texas is amended by adding the zoning classification of "Neighborhood Conservation District 7 (NCD-7) to property located within the boundaries described as follows:

SG: 04-16-09  
Item No. Z-3.

CASE NO. Z2009067

**SECTION 2.** The Neighborhood Conservation Plan for Neighborhood Conservation District 7 (NCD-7) is hereby approved. The Neighborhood Conservation Plan for Neighborhood Conservation District 7 (NCD-7) is attached hereto and incorporated herein for all purposes as EXHIBIT "A".

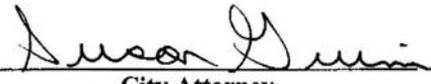
**SECTION 3.** The Director of Development Services shall change the zoning records and maps in accordance with this ordinance and the same shall be available and open to the public for inspection.

**SECTION 4.** This ordinance shall become effective April 26, 2009.

**PASSED AND APPROVED** this 16<sup>th</sup> day of April 2009.

  
M A Y O R  
PHIL HARDBERGER

ATTEST:   
City Clerk

APPROVED AS TO FORM:   
For City Attorney